

AGENDA
City of Hobbs Planning Board – Regular Meeting
January 21st, 2025 at 10:00 AM

W.M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larchinee Turner

Guy Kesner, Vice Chairman
Ben Donahue
Brett Clay

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, January 21st, 2025 at 10:00 AM, at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

Call To Order and Roll Call.

- 1) **Review and Consider Approval of Agenda.**
- 2) **Review and Consider Approval of Minutes.**

December 17th, 2024 – Regular Meeting

Communications from Citizens. (3-minute limit per citizen).

ACTION ITEMS:

- 3) **Review and Consider multiple variances for the proposed renovations for Heizer Middle School.**
- 4) **Review and Consider the Summary Replat for lot 12, Block 56 and the vacation of a portion of Morris Street.**
- 5) **Review and Consider the Front Yard setback variance for 703 E Luna Drive.**
- 6) **Review and Consider a Sign Variance for 5230 N. Lovington Highway.**
- 7) **Review and Consider the Development Agreement for Windmill Business Park Subdivision.**
- 8) **Review and Consider the 2025 New Mexico Open Meetings Act Notice.**

Adjournment.

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 575-397-9232.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”

PLANNING BOARD MEETING MINUTES 12/17/2024

**PLANNING BOARD REGULAR MEETING
MINUTES
DECEMBER 17, 2024**

The Hobbs Planning Board met on December 17, 2024, at 10:00 a.m. at the City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks, Chairman, presiding.

Members Present:

W.M. “Tres” Hicks, Chairman
Brett Clay
Bill Ramirez
Larchinee Turner

Members Absent

Guy Kesner, Vice Chairman
Brett Drennan
Ben Donahue

Also present were members of the public and City staff as follows:

Todd Randall, Assistant City Manager	Anthony Henry, City Engineer
April Hargrove, Engineering Assistant	Kristalyn Seepersad, Project Manager
Mellisa Serrano, Building Assistant	Bruce Reid, Lea County Planner
Dwayne Penick, City Commissioner	Tim Woomer, Utilities Director
Medjine Desrosiers-Douyon, Deputy City Attorney	
2 Citizen(s)	

Call to Order and Roll Call

Ms. April Hargrove, Engineering Assistant, did a roll call for members as follows:

Mr. Ramirez-yes, Ms. Turner-yes, Mr. Kesner-absent, Mr. Drennan-absent, Mr. Clay-yes, Mr. Donahue-absent, and Mr. Hicks-yes. There were four members present at the meeting.

Mr. Hicks called the meeting to order at 10:00 a.m.

1.) Review and Consider Approval of Agenda

The first item of business was to review and approve the agenda for the December 17, 2024, regular meeting. Mr. Kesner asked if there were any additions or changes to the agenda. Mr. Randall stated there were no changes. Ms. Turner made a motion, seconded by Mr. Ramirez to approve the agenda as presented. The vote on the motion was 4-0 and the motion carried.

2.) Review and Consider Approval of Minutes

Mr. Hicks asked if everyone had a chance to read the Regular Meeting Minutes from November 19, 2024. Mr. Ramirez made a motion, seconded by Ms. Turner to approve the Regular Meeting Minutes as presented. The vote was recorded as follows: Ramirez yes, Kesner absent, Clay yes, Donahue absent, Turner yes, Drennan absent, Hicks yes. The vote on the motion was 4-0 and the motion carried.

Communications from Citizens

Mr. Hicks thanked Commissioner Penick for attending the meeting.

Action Items

3) Review and Consider the Setback Variance for 309 W Berry Drive.

Mr. Randall stated this is a setback variance request for 309 West Berry Drive. He stated the property is currently a vacant lot situated at the intersection of Berry Street and Turner Street. A site plan has been provided regarding the variance being requested. Mr. Randall explained the variance pertains to the side yard setback for a proposed residential structure that will face Berry Street. He further explained that Turner Street, a collector roadway, typically requires a 35-foot setback from the property line. However, what makes this case unique is the large right-of-way along Turner Street, which includes City landscaping in the area.

Mr. Randall stated the applicant is requesting a 10-foot setback, which is standard for residential areas not adjacent to collector roadways. He stated staff does not have objections to this request. The 35-foot setback would render the lot essentially unbuildable. This issue originates from the historic Broadmoor subdivisions, where such major setbacks for collector roadways were not considered. Mr. Randall explained the applicant initially proposed a 15-foot setback. However, staff recommends approving a variance of up to 10 feet from the property line to allow flexibility for potential changes to the house size or design. Mr. Randall stated this approach aligns with what has been approved in other residential areas. He stated this would be the first instance on Turner Street in this specific area, it is worth noting that a house previously existed on this lot before being condemned and demolished.

In response to Mr. Hicks's question, Mr. Randall stated the house previously had also encroached on the 35-foot setback requirement. Mr. Randall stated this request is consistent with the neighborhood and aligns with the intent of the major thoroughfare plan to keep houses further from collector roadways. Additionally, the lot is well-buffered by the city's landscaping along Turner Street.

Mr. Ramirez made a motion to approve the setback variance for 309 W. Berry Drive, seconded by Mr. Clay. The vote on the motion was 4-0 and the motion carried

4) Review and Consider the Variance for a minimum frontage for 2908 W. Pinson Rd.

Mr. Randall stated this is a request for a variance for a minimum frontage at 2908 W. Pinson Rd. He stated this property is located outside the city limits. Mr. Randall stated the minimum frontage required for a lot inside the city limits is 35 feet, and this requirement is generally extended to properties in the county. However, variances have been granted in the past, with a minimum of 26 feet. The 26-foot standard aligns with the International Fire Code, which ensures sufficient access for the largest fire trucks used in emergency response.

Mr. Randall explained the property owner currently has a very long lot and intends to create

a flag lot. He stated their water well is located only 30 feet from the eastern property line, which complicates the layout. According to information provided verbally by the surveyor, the water well would not remain on the second property if the 35-foot frontage requirement were enforced. Mr. Randal explained the intent of the split is related to a mortgage on the primary property. He further explained many lenders prefer not to place a mortgage on such a large tract of land, prompting the owner to divide the property to meet lending requirements.

Mr. Randall stated staff recommends granting a variance to reduce the frontage requirement to 26 feet instead of the 20 feet requested by the owner. He stated this ensures compliance with emergency access standards while accommodating the owner's needs. Additionally, it is advised that the owner encumber the adjacent property with an access utility easement to facilitate servicing the water well and maintaining access to Tract A.

Mr. Hicks asked if the 26-foot frontage allows access for water well servicing equipment? Mr. Randal stated the well is 30 feet from the property line, so there should be no issue with access.

In response to Mr. Ramirez's question, Mr. Randall stated staff confirmed no objections to reducing the frontage to 26 feet, as it aligns with previous variances granted for similar situations.

Mr. Clay made a motion to approve the variance for a reduced frontage of 26 feet, seconded by Ms. Turner. The vote on the motion was 4-0 and the motion carried

5) Review and Consider the Sketch Plan for South 40 for approval.

Mr. Randall stated this is the sketch plan for South 40. He noted that the project is represented by the developer, Mr. Daniel Johncox, and his surveyor, Mr. Jeremy Baker. This is not the Board's first time reviewing this project; it is being revisited to discuss the sketch plan as part of the effort to advance the overall master plan. Mr. Randall explained that the focus is on the first unit, which involves extending Main Street at this location. The proposal also includes extending city water and sewer services to the subdivision, and restrictive covenants and disclosures have been submitted.

Mr. Johncox addressed the Planning Board, explaining his previous efforts to start the project but had not been successful. He noted that significant challenges had been overcome in collaboration with the County, while the City, along with Mr. Randall and the council, worked diligently to ensure the project's viability. Mr. Johncox emphasized that the property is substantial and designed to support sustainable growth over many years, rather than being a short-term project completed within a year or two. He also highlighted that the subdivision is located within a designated Opportunity Zone, aimed at encouraging investment and development in the area.

Mr. Johncox outline the plan for a 238-lot subdivision featuring market-rate affordable homes. He explained that these homes are designed to meet the affordability standards established by the New Mexico Mortgage Finance Authority (MFA), ensuring that prices remain within 150% of the area's median household income.

Mr. Johncox addressed the water supply concerns, he acknowledged challenges related to a recent decision by the Office of the State Engineer. This decision denied approval for an eight-lot subdivision in North County due to the City of Hobbs being unable to demonstrate a sufficient 40-year water supply. However, he clarified that this project is in a different area and pointed out that when plans were submitted in 2021 or 2022, the State Engineer's Office issued a favorable opinion. Mr. Johncox emphasized that resolving the water supply issue is a top priority to ensure the project's success.

Mr. Johncox stated the development will provide much-needed workforce housing and bring economic benefits to Hobbs. It represents a \$60 million housing project, with an estimated \$350,000 in annual recurring revenue for Lea County. He stated the homes will be on large lots, connected to city water and sewer, and priced at approximately \$250,000, which meets the affordability criteria. While costs have risen over the years, these homes will still provide value in comparison to existing options.

Mr. Clay mentioned the price point of \$250,000. He asked if that is considered affordable for this area? Mr. Johncox stated it is for a new home with city utilities and a large lot, \$250,000 is affordable in Hobbs. Comparable new homes often start at \$350,000 or more. He stated these will be 2,100 square feet with four bedrooms and two baths.

In response to Ms. Turner's question, Mr. Johncox stated this is a multi-phase project expected to take 8–10 years to complete. Phase 1 will include 25–35 homes annually.

Mr. Hicks asked about the water supply and if there is enough for this subdivision. Mr. Randall stated the last 40-year water plan indicates sufficient water rights for Hobbs. However, the State Engineer's Office may use different models that don't align with actual usage. Mr. Tim Woomeer, Utilities Director, confirmed this. Mr. Tim Woomeer, the Utilities Director, confirmed this explanation.

Mr. Ramirez inquired whether all utilities would be installed underground. Mr. Johncox confirmed this, stating that all utilities, except for electricity, would be buried within the designated easements.

Mr. Randall stated a 10-foot utility easement along all roadway frontages will be required to accommodate infrastructure like fire hydrants. Mr. Randall stated this is a general master plan and a sketch plan specifically for Unit One. Often, comments arise regarding alignments, roadways, and configurations, which will help guide the design process. Mr. Randall stated the plan will be refined further as we move forward. He stated the final plans will include completed engineering for the roadway, drainage, water, and sewer.

Mr. Hicks thanked Mr. Johncox for the detailed presentation. He emphasized that housing is a critical need in Hobbs and is excited to see this project move forward.

Mr. Ramirez made a motion to approve the sketch plan for South 40, seconded by Mr. Clay. The vote on the motion was 4-0 and the motion carried.

6) Review and Consider the 2025 Planning Board Calendar.

Mr. Randall stated this is the proposed 2025 Planning Board calendar. He stated the schedule continues to follow the third Tuesday of every month for meetings. The calendar also includes key deadlines for submissions, Planning Board packet distributions, and related work. Mr. Randall stated the first Planning Board meeting in 2025 is scheduled for January 21, 2025.

Mr. Hicks stated he has no objections to the proposed dates. He stated there might need to be adjustments around holidays like Thanksgiving or spring break if necessary.

Mr. Ramirez made a motion to approve the 2025 Planning Board calendar, seconded by Ms. Turner. The vote on the motion was 4-0 and the motion carried.

Mr. Hicks asked for clarification regarding the date listed for the Planning Board packet, specifically if it indicates when the board is expected to receive it. Mr. Randall explained that staff strives to collect submissions from developers two weeks before the meeting and distribute the packets to the Planning Board one week prior. He noted, however, that flexibility has been practiced in the past, particularly when working with tight deadlines. Mr. Randall assured the board that staff will aim for this timeline while remaining accommodating when necessary.

Mr. Randall expressed his gratitude for the Board's dedicated service, noting that the Planning Board is the City's most active, regularly forwarding numerous action items to the City Commission. He acknowledged the growing difficulty in finding volunteers for unpaid roles, emphasizing how much their commitment is valued. Mr. Hicks echoed his gratitude, extending his thanks to the staff for their dedication to supporting development and keeping the board well-informed.

Adjournment

The meeting adjourned at 10:39 a.m.

W.M. "Tres" Hicks, Chairman

Review and Consider multiple variances for the proposed renovations for Heizer Middle School.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: JANUARY 21ST, 2025

SUBJECT: REVIEW AND CONSIDER MULTIPLE VARIANCES FOR THE PROPOSED RENOVATIONS FOR HEIZER MIDDLE SCHOOL

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: January 14th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

Hobbs Schools are proposing an addition to Heizer Middle School and is requesting variances for the fence location, the parking and right-of-way setbacks. Standolind Road is a Major Collector according to the City's Major Thoroughfare Plan and requires an 80' right-of-way. The Developer is asking for a 60' right-of-way approval for Standolind Road. The proposed fence is located within the city's right of way.

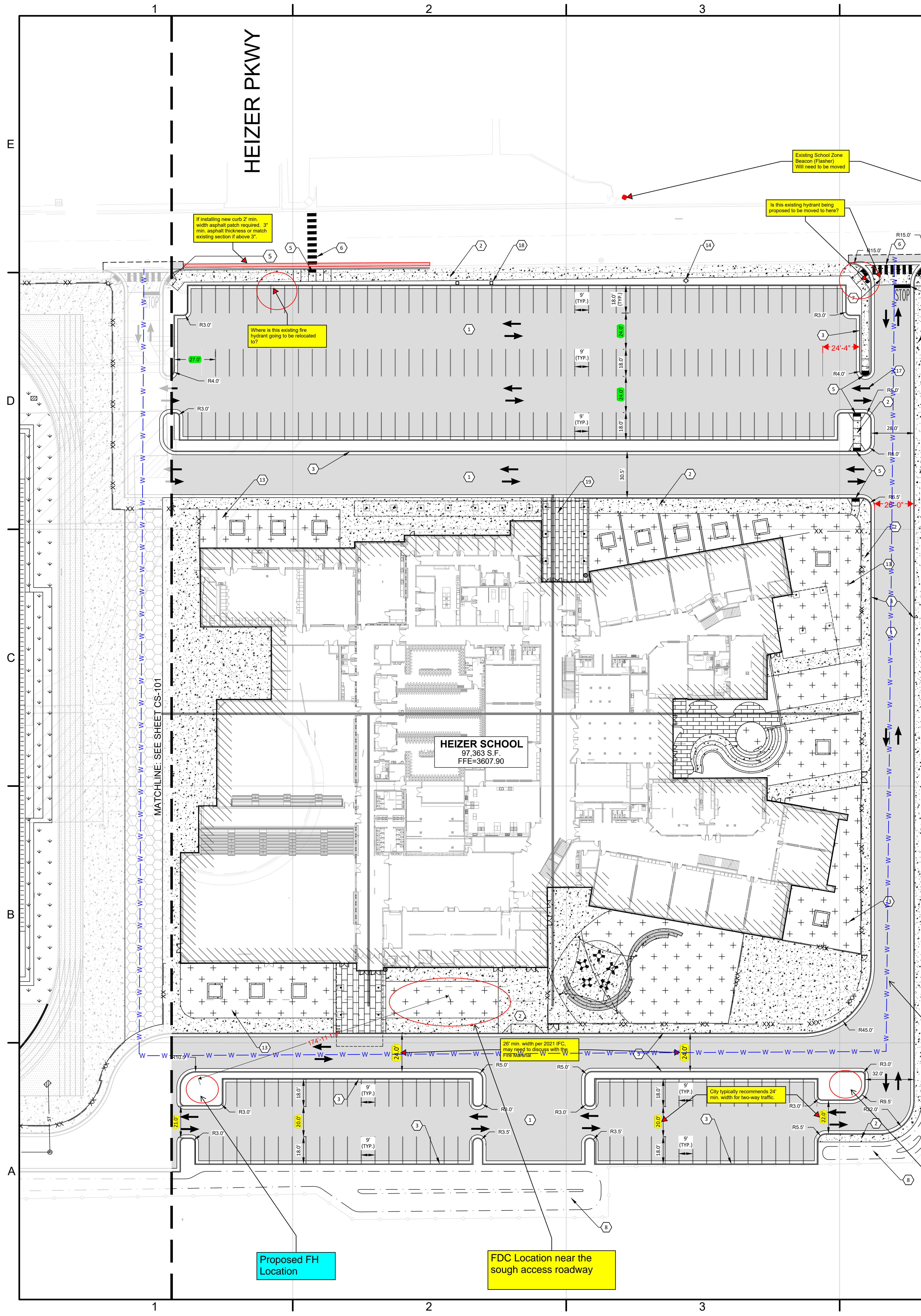
Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Preliminary Plans with Markups



LEGEND	
	CURB & GUTTER
	CONCRETE
	EXISTING FENCE/BOUNDARY
	SIGN
	SAWCUT LINE
	DITCH FLOWLINE
	CHAINLINK FENCE
	LIGHT POLE
	POWER POLE
	ASPHALT
	CONCRETE SIDEWALK
	DETECTABLE WARNING STRIPE
	SYNTHETIC GRASS SURFACE
	FIRE LANE
	SYNTHETIC TURF
	RUNNING TRACK MAT SYSTEM
	BRICK PAVER

- KEYED NOTES**
- INSTALL 2" ASPHALT PAVEMENT, 6" BASE COURSE, 6" SUBGRADE PREPARATION
 - INSTALL CONCRETE SIDEWALK PER LANDSCAPING PLANS
 - INSTALL 6" X 24" CURB & GUTTER PER DETAIL X
 - INSTALL ADA PARKING STRIPING PER DETAIL X
 - INSTALL ADA RAMP PER DETAIL X
 - INSTALL RAISED PEDESTRIAN CROSSWALK PER PER DETAIL
 - INSTALL CONCRETE DRIVEWAY APRON PER DETAIL X
 - INSTALL PONDS PER GRADE PLANS
 - INSTALL FENCE PER DETAIL X
 - INSTALL WALL FOR DUMPSTER AREA PER DETAIL X
 - OWNER TO PROVIDE BLEACHERS
 - INSTALL ARTIFICIAL TURF PER LANDSCAPING PLANS
 - INSTALL SYNTHETIC TURF PER LANDSCAPING PLANS
 - INSTALL LIGHT POLE PER ELECTRICAL PLANS
 - INSTALL WHITE STOP BAR
 - INSTALL STOP SIGN
 - DIRECTIONAL ARROW FOR ILLUSTRATION PURPOSED ONLY
 - INSTALL POWER POLE PER ELECTRICAL PLANS
 - INSTALL BRICK PAVER PER LANDSCAPE PLANS

General Parking Comments:
 Typ. Driving Aisles = 26' (two way)
 Typ. Driving Aisles = 20' (one-way)
 Typ. Parking Stalls = 18'x9'

Clear Sight Triangle
 25'x25' clear of any obstruction higher than 2' at intersections with public roadways

Fire Lanes:
 Min. 26' wide exclusive of shoulders (if provided)
 Check intersections and turning radius for HFD Fire Truck
 Note: Fire Truck Template can be provided

FDC:
 Coordinate with HFD on location of FDC and any proposed Fire Hydrants

Planning Board Approval Required:
 1. Stanolind is Major Collector and typically 80' right of way (Request 60' ROW)
 2. Proposed fence within Collector Roadway ROW

Looped Fire Line
 Stanolind water line is only a 6" line.
 Looped fire line proposed to be 6" line

Proposed FH Location

Proposed FH Location

FDC Location near the sough access roadway



2023 Hobbs Municipal Schools Heizer MS

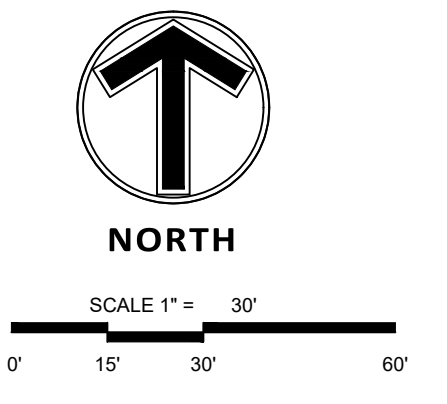


CLIENT
Hobbs Municipal Schools

PROJECT NO.
2024.1190

KEY PLAN

#	DATE	DESCRIPTION



CIVIL SITE PLAN
CS-102

Review and Consider the Summary Replat for lot 12, Block 56 and the vacation of a portion of Morris Street



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: JANUARY 21ST, 2025

SUBJECT: REVIEW AND CONSIDER THE SUMMARY REPLAT FOR LOT 12, BLOCK 56 AND THE VACATION OF A PORTION OF MORRIS STREET.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: January 14th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Property Owner is requesting a summary replat of Lot 12, Block 56. The property is located at the corner of Morris Street and Main Street. They are proposing a vacation of a portion of Morris Street of 9.90', leaving the property width to be 25'.

Staff Recommendations:

Planning Department:

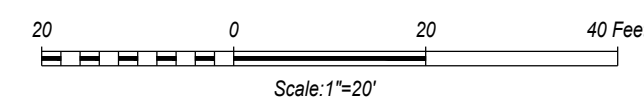
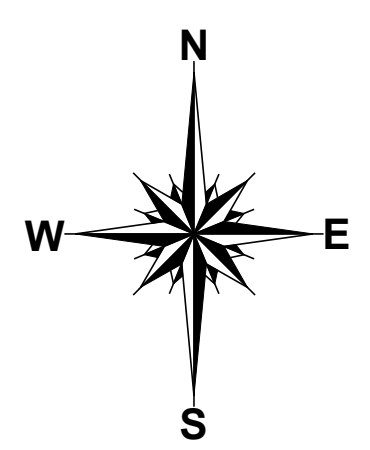
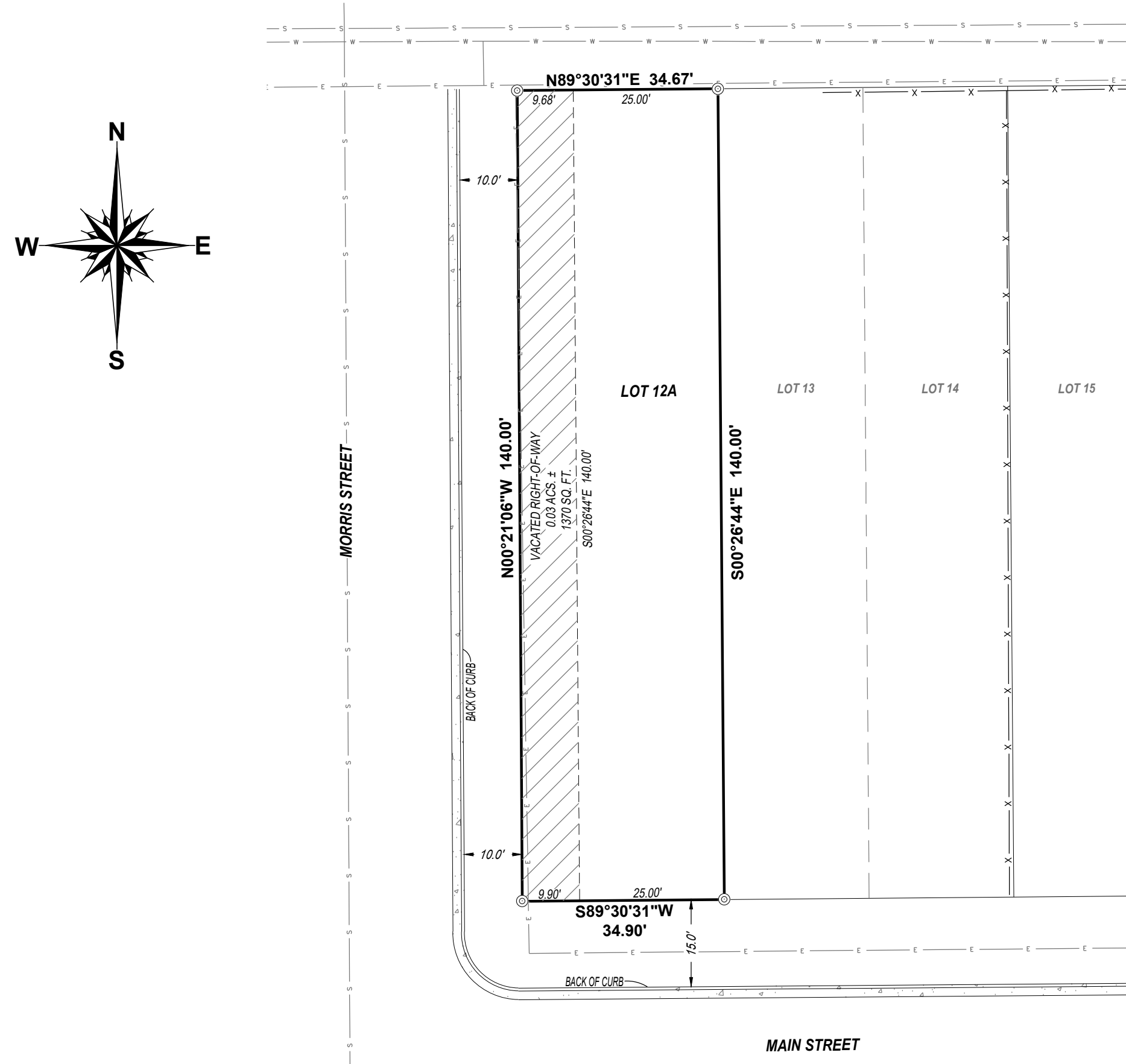
Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Summary Replat Plan

PRELIMINARY - DECEMBER 24, 2024
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

SUMMARY REPLAT OF LOT 12, BLOCK 56 AND THE VACATION OF A PORTION OF MORRIS STREET WITHIN THE NEW HOBBS ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO



REPLAT OF LOT 12, BLOCK 56 AND THE VACATION OF A PORTION OF MORRIS STREET RIGHT-OF-WAY WITHIN THE NEW HOBBS ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO INTO LOT 12A.

SAID PROPERTY IS BEING REPLATTED AS THE SAME APPEARS HEREON WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR THEREOF.

LEVI WHITLEY
YOUNGS MOBILE HOMES
(BOOK 2214, PAGE 613)

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2024 A.D.,
BY LEVI WHITLEY.

NOTARY PUBLIC

CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:

THIS VACATION PLAT REVIEWED AND APPROVED ON THE _____ DAY OF _____, 2024 A.D., BY THE CITY PLANNING AND ZONING BOARD OF HOBBS, LEA COUNTY, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2023 A.D., BY WILLIAM M. HICKS III.

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL:

JAN FLETCHER THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING STREET RIGHT-OF-WAY VACATION OF A PORTION OF MORRIS STREET WITHIN THE NEW HOBBS ADDITION BY THE CITY OF HOBBS, NEW MEXICO, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE _____ DAY OF _____, 2024 A.D.

JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2024 A.D., BY JAN FLETCHER.

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE:

I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: _____



NOTE

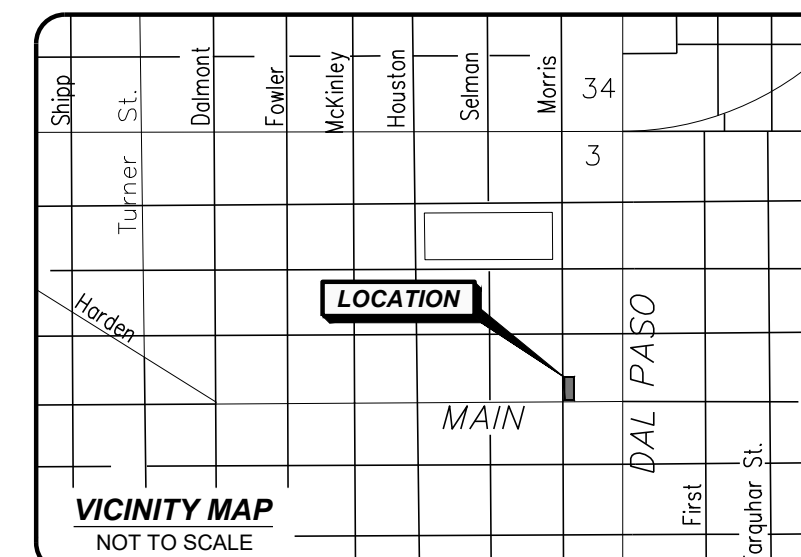
1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. THE CONVERGENCE ANGLE TO TRUE NORTH IS 00°39'04.9" BASED ON A POINT OF ORIGIN LOCATED AT (NMSPC) N: 616901.68 E: 912337.82 ESTABLISHED FROM GPS OBSERVATIONS AND SUBSEQUENT NGS OPUS PROCESSING. DISTANCES ARE SURFACE VALUES.

2) DATE OF SURVEY: NOVEMBER 20, 2024.

3) UTILITY LOCATIONS SHOWN HEREON ARE FROM OBSERVED EVIDENCE AND INFORMATION PROVIDED BY THE CITY OF HOBBS ENGINEERING DEPARTMENT. ACTUAL LOCATIONS SHOULD BE VERIFIED.

LEGEND:

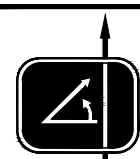
- ⊙ - DENOTES SET 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" UNLESS OTHERWISE NOTED
- e — e — - DENOTES ELECTRIC LINE
- x — x — - DENOTES FENCE LINE
- s — s — - DENOTES SEWER LINE
- w — w — - DENOTES WATER LINE



Scale: One Inch = Twenty Feet
CAD Drafter & Date: ACK - 12/24/2024
JWSC W.O. No.: 24, 11, 0403
JWSC File No.: D-1467

© 2024/24110403 REPLAT LOT 12 AND VACATE EAST 10' OF MORRIS ST

STATE OF NEW MEXICO
COUNTY OF LEA - FILED:



PROVIDING SURVEYING SERVICES
SINCE 1946
JOHN WEST SURVEYING COMPANY
412 N. DAL PASO HOBBS, N.M. 88240
(575) 393-3117 www.jwsc.biz
TBPLS# 10021000

Review and Consider the Front Yard setback variance for 703 E Luna Drive



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: JANUARY 21ST, 2025

SUBJECT: REVIEW AND CONSIDER THE FRONT YARD SETBACK VARIANCE FOR 703 E LUNA DRIVE.

DEPT. OF ORIGIN: Planning Department

DATE SUBMITTED: January 14th, 2025

SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Property Owner is requesting a front yard setback variance in order to have a 31' x 24' carport. With this size carport, the setback will be 9'-3" from the back of curb. The required setback is 31' from the back of curb.

Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Variance Application



VARIANCE APPLICATION

Application Date: January 6, 2025 Variance for (circle one): (front yard) side yard

Property Owner: Marvin Michael Don + Mendi Shane Bounds Phone: 575-441-5622

Address of proposed structure: 703 E. Luna Drive

Subdivision (if known): Broadmoor Lot & Block # (if known): 15 Block 53 A

Type of proposed structure: Metal Carport Dimensions of proposed structure: _____

Are subdivision covenants and/or deed restrictions available? _____ If so, please attach a copy.

The existing front/side setback for the structure at the above address is 31 feet. If the variance is approved, the new front/side setback with the front improvement will be 9'3" feet.
15

* The Planning Board of the City of Hobbs has established a procedure to require each applicant for a setback variance to notify property owners **within 150 feet** of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Addresses of existing carports/fences/porches in vicinity (if any):

<u>710 E. LLANO</u>	<u>427 E. LLANO</u>
<u>630 E. LLANO</u>	
<u>614 E. LLANO</u>	
<u>624 E. LUNA</u>	
<u>613 E. LLANO</u>	
<u>1326 N. HOUSTON</u>	
<u>621 E. LLANO</u>	

Please attach the following documents:

- Copy of Building Permit Application.
- Sketch Plan showing dimensions of existing and proposed improvements and distances from proposed improvement to sidewalk, curb, and/or edge of street.
- Copy of Covenants and/or Deed Restrictions, if any.
- Signature Sheet containing signatures of adjacent property owners within 150 feet of above referenced lot.

Return completed form to:
City-Hall - Planning Division
200 E. Broadway St.
Hobbs, NM 88240
P: 575-397-9232
F: 575-397-9227

Mendi Bounds 1-6-25
Property Owner Signature Date

**CITY OF HOBBS, NM
PLANNING DIVISION
VARIANCE APPLICATION
(To Front and/or Side Yard Setback Requirement)
Adjoining Property Owner Notification**

Note: The Planning Board of the City of Hobbs has established a procedure to require each applicant for a front or side yard setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Date: January 6, 2025

Applicant: Mendi Bounds
Mike Bounds

Phone: (575) 441-5622

Neighboring Property Owner:

For your information, a variance application has been submitted to build a structure in the front or side setback at:

Applicant address: 703 E. Luna

Address of proposed structure: 703 E. Luna

Subdivision (if known): Broadmoor Lot & Block # (if known): 15 Block 53 A

Type and dimensions of proposed structure (see attached drawing for details): Metal Carport

The existing front/side setback for the structure at the above address is 31 feet. If the variance is approved, the new front/side setback with the front/side improvement will be 43 feet.

If any adjoining property owner has questions, please call the Planning Division at 397-9232. The City reserves the right to contact adjacent property owners to verify accuracy of signatures.

Signatures of adjoining property owners and acknowledgement of request:

Adjacent Property Owner, Name(s)	Address	Signature(s)	Phone #	Do you support request? Y / N
<u>Robert Jones</u>	<u>627 East Sun</u>	<u>Robert Jones</u>	<u>575-318-3850</u>	<u>YES</u>
<u>Uplanda Vasquez</u>	<u>710 E Luna Dr</u>	<u>[Signature]</u>	<u>432-634-6459</u>	<u>yes</u>
<u>Rose Sanchez</u>	<u>702 E Luna Dr</u>	<u>Rose Sanchez</u>	<u>575-523-5201</u>	<u>yes</u>
<u>[Signature]</u>	<u>701 E Luna Dr</u>	<u>[Signature]</u>	<u>575-302-3858</u>	<u>yes</u>
<u>Anabel Martinez</u>	<u>718 E Luna Dr</u>	<u>[Signature]</u>	<u>575-602-8072</u>	<u>yes</u>
<u>Pam Seiberger</u>	<u>715 E Luna</u>	<u>[Signature]</u>	<u>575-318-1151</u>	<u>yes</u>
<u>Jessie Siler</u>	<u>721 E Luna</u>	<u>[Signature]</u>	<u>575-441-3908</u>	<u>yes</u>
<u>Jennifer Avila</u>	<u>620 E. Luna</u>	<u>[Signature]</u>	<u>575-318-4581</u>	<u>yes</u>
<u>Isabel Cruz</u>	<u>621 E. Luna</u>	<u>Isabel Cruz</u>	<u>575-665-2672</u>	<u>yes</u>
<u>Tiffany Leik</u>	<u>626 E Luna</u>	<u>[Signature]</u>	<u>575-442-3150</u>	<u>yes</u>
<u>April Rodriguez</u>	<u>613 E Luna</u>	<u>[Signature]</u>	<u>575-263-3352</u>	<u>yes</u>

*Deed Restrictions, if available, are located in the Planning Division.

Michel Don Bownds and Mendi Shane Bownds

703 East Luna Drive

Hobbs, New Mexico 88240

575-441-5622

575-390-4246

mendishane@gmail.com

January 6, 2025

I am writing to formally request a variance for the construction of an unattached carport at my property located at 703 east Luna Drive. This variance request pertains to the materials and construction for this carport.

Project description: Carport constructed with the following exterior materials and structural components of the carport measuring Length ~~31'~~^{25'} x width 24' x peak height 9' eave height 8'.

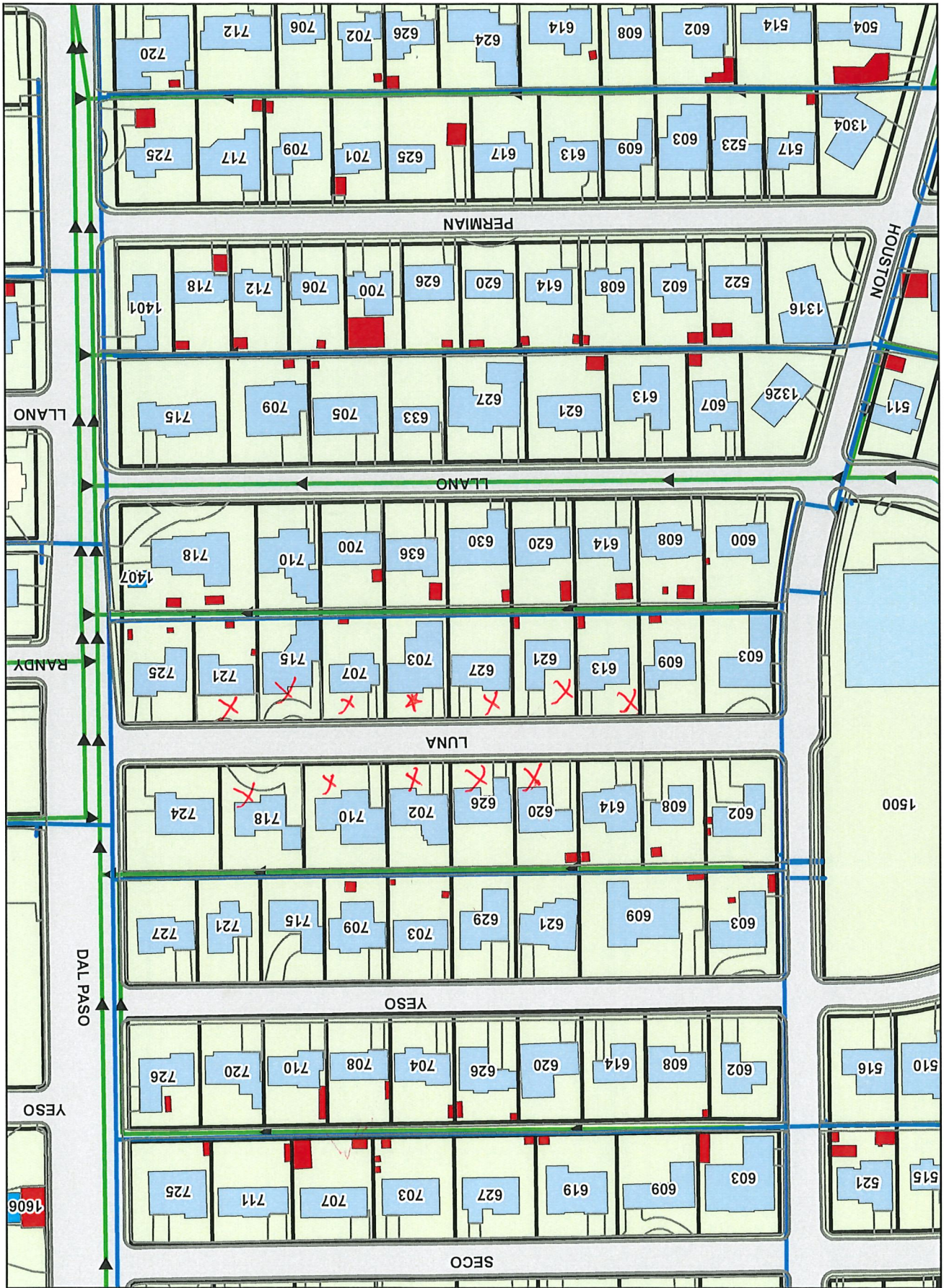
1. Roofing: 26-gauge R-panel steel.
2. Frame: 10"x 3.00x12 GA Purlin
3. Support Posts: 4x4 1/8" square tubing.

The reasons for the variance and materials chosen are due to the durability, low maintenance, and should work well for the carports long-term stability. I believe these materials are a solid choice for the carport, and they will improve both the protection of our vehicles from the elements and appearance of the property.

I would appreciate the approval to finish this project.

Thank you for your consideration,

Mike and Mendi Bownds



Property Owner # 0012972

Lot 15 Block 53A Sixth Unit of Broadmoor Addition

Mike & Mendi Bownds

703 East Luna

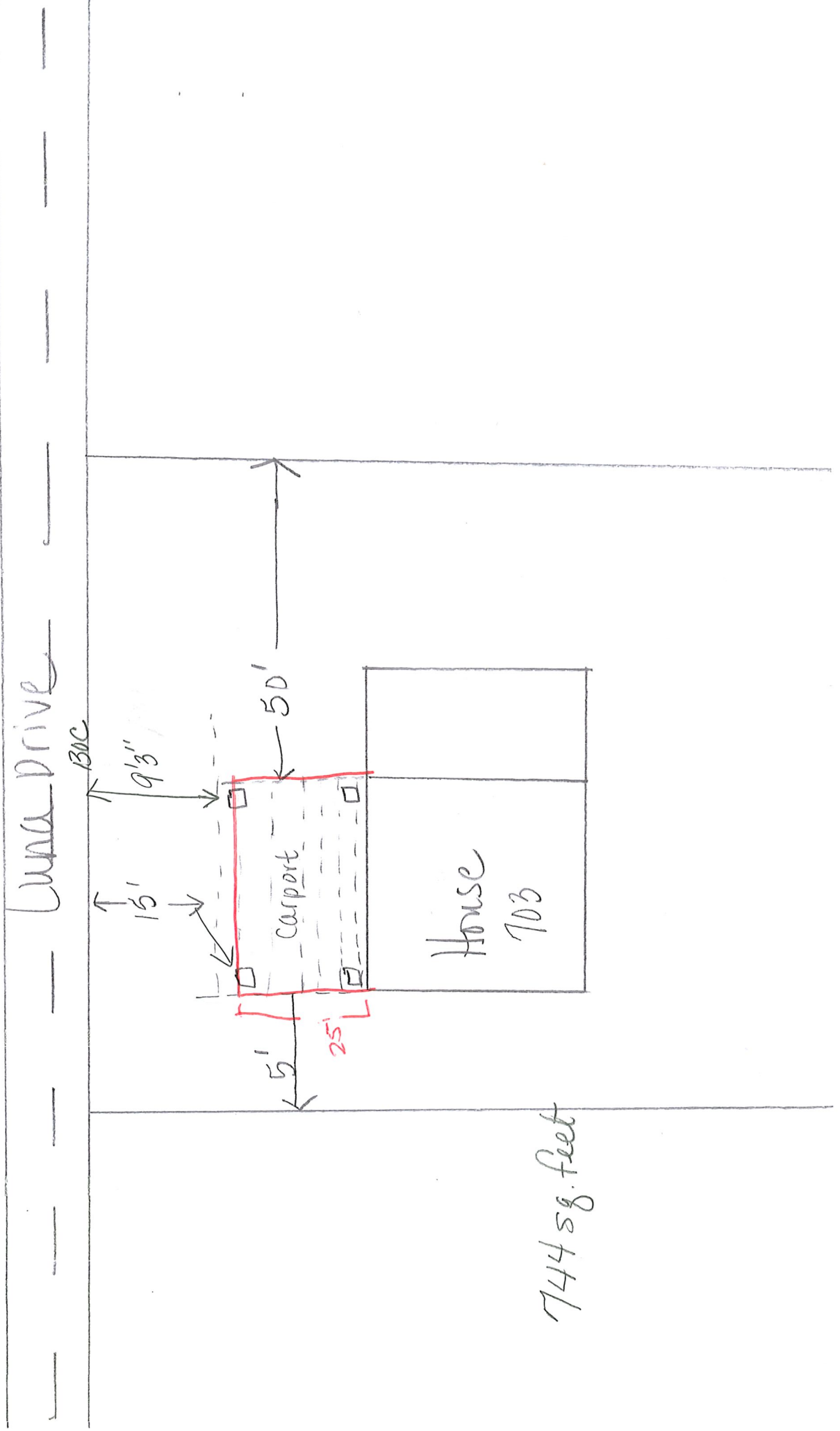
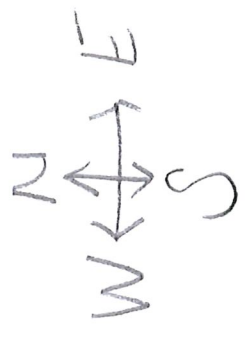
Hobbs, NM 88240

Mike (575)-390-4246

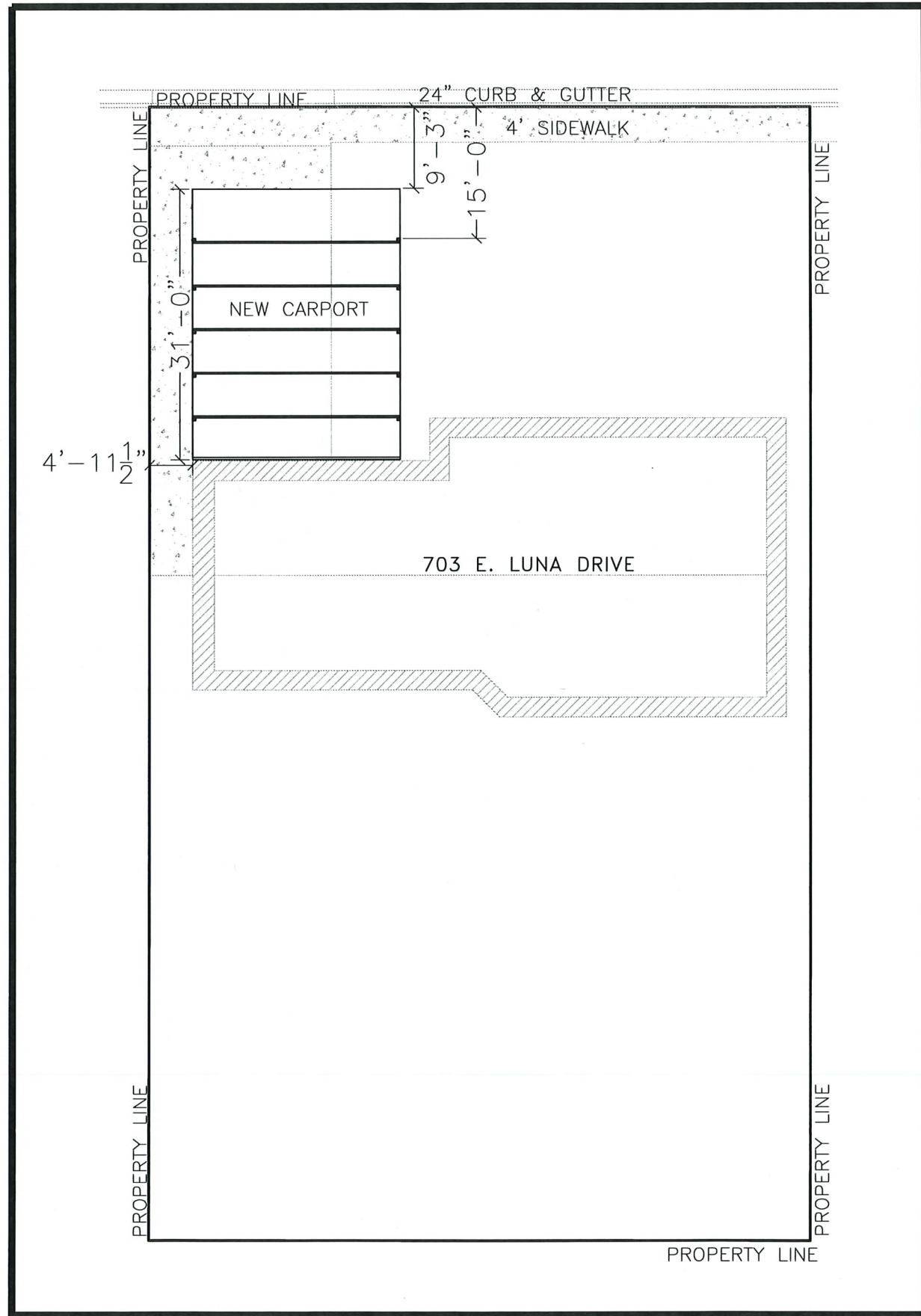
Mendi (575)-441-5622

703 E. Luna Drive (Top View)

Site Plan



744 sq. feet



SITE PLAN

SCALE: 1/16"=1'-0"



01-07-2025



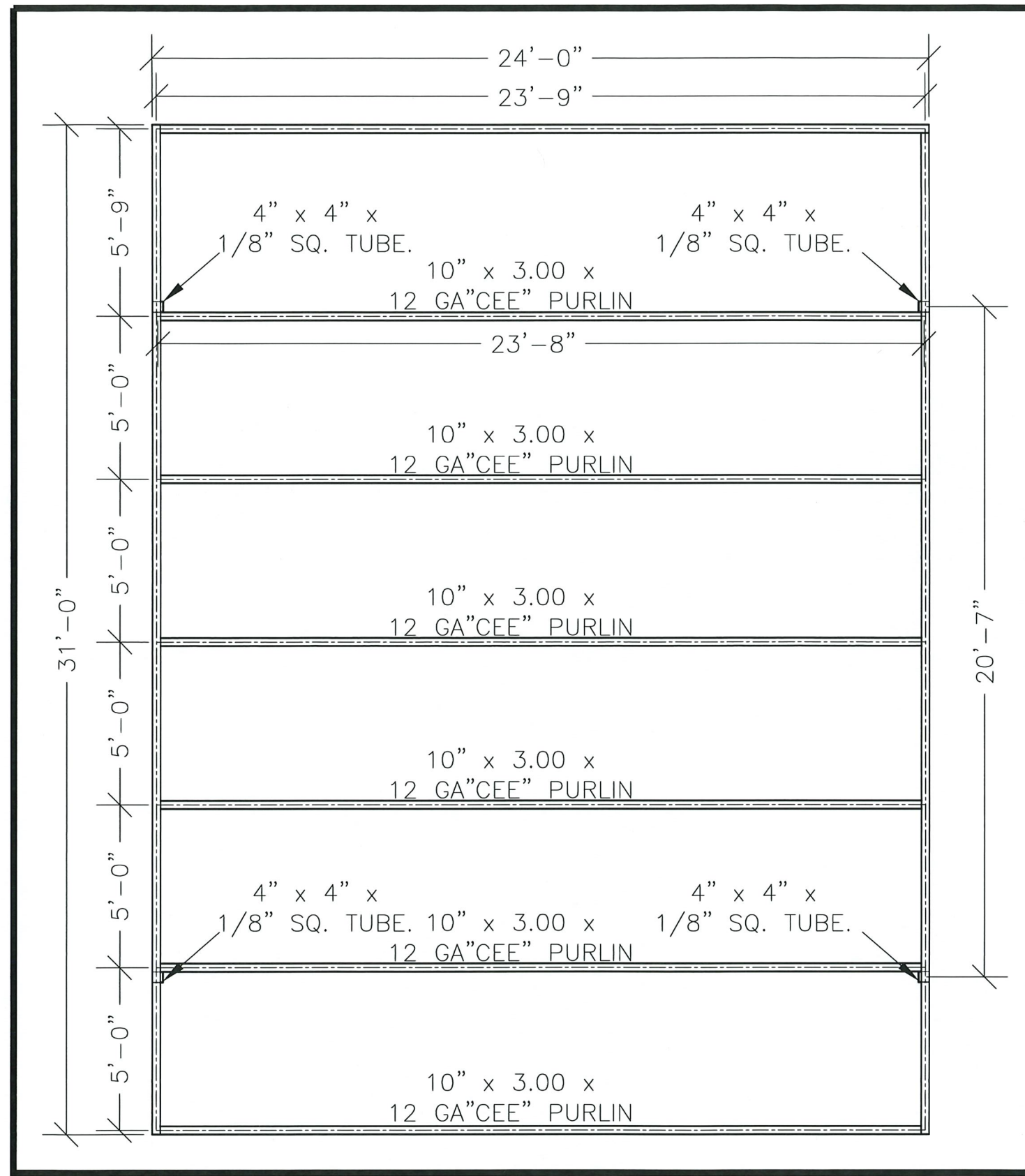
SITE PLAN
MIKE BOWNS
NEW 24' X 31' CARPORT
 703 E. LUNA DRIVE
 HOBBS, NM 88240

BOLLSCHWEILER ENGINEERING
 (575) 642-0205
 P.O. BOX 728 MESILLA PARK, NM 88047
 NEW MEXICO LICENSE #7910

DRAWN BY: K.A.
 CHECKED BY: D.B.
 DATE: 12/20/24

REV.	DESCRIPTION	DATE
A		

DWG. **C-1**



ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"

NOTES:

1. SITE ERECTION SHALL BE ACCOMPLISHED BY AN EXPERIENCED WELDER TO AWS STANDARDS AND THE LATEST INDUSTRY STANDARDS.
2. ALL WELDING ELECTRODES SHALL BE A233 CLASS E-70 SERIES.
3. MINIMUM WELDS ON PRIMARY STRUCTURAL MEMBER SHALL BE 1/8" FILLET WELDS, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
4. ALL C OR Z PURLINS SHALL BE ATTACHED WITH ANTI-ROLL CLIPS. PURLINS SHALL NOT BE WELDED DIRECTLY TO THE COLUMNS AND BEAMS.
5. ALL DIMENSIONS, SIZES AND ORIENTATIONS SHALL BE VERIFIED FOR FIT IN THE FIELD BEFORE CONSTRUCTION BY THE CONTRACTOR.



01-07-2025



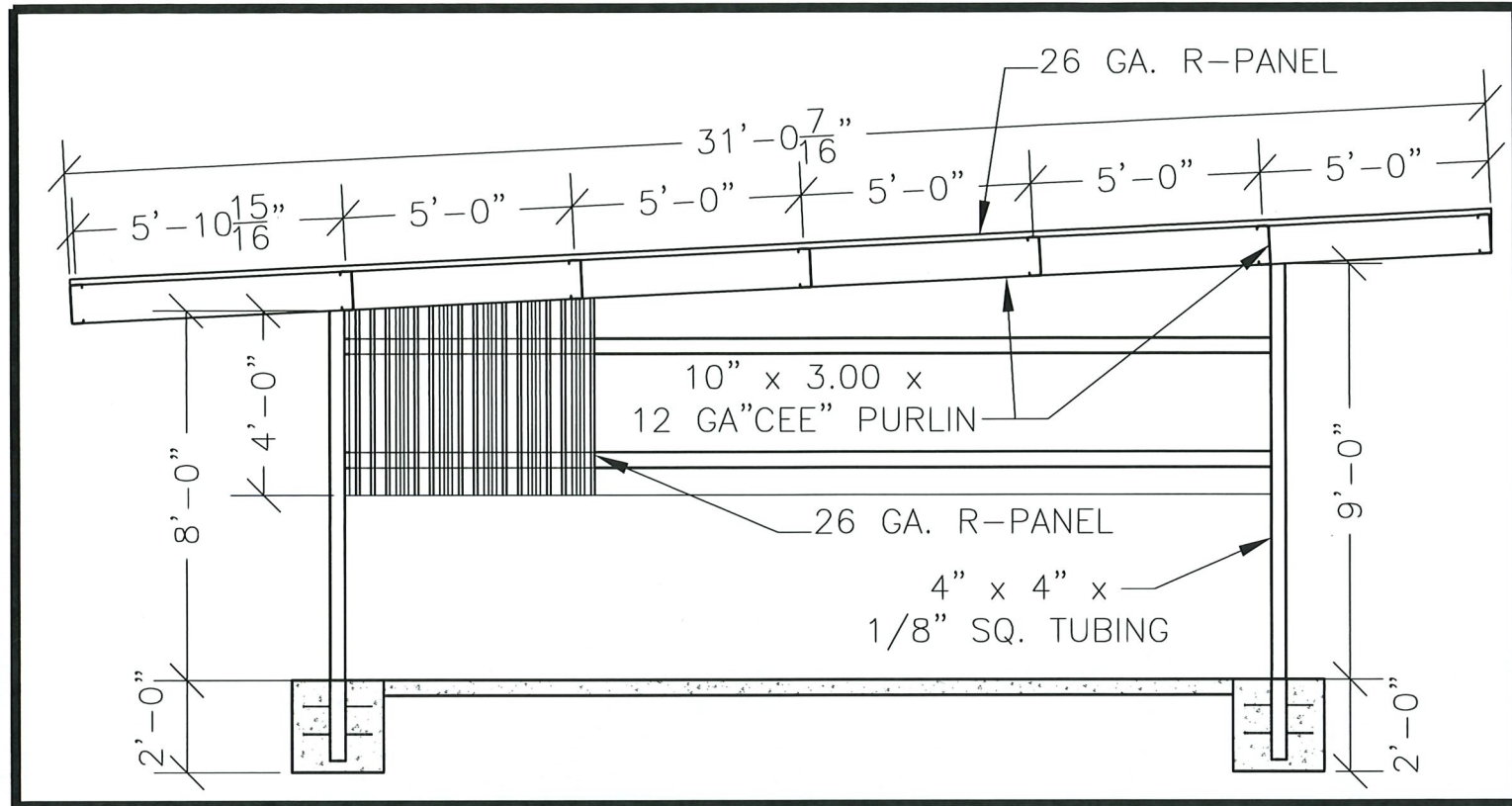
BOLLSCHEWILER ENGINEERING
 (575) 842-0205
 P.O. BOX 728 MESILLA PARK, NM 88047
 NEW MEXICO LICENSE #7310

ROOF FRAMING PLAN
MIKE BOWNS
NEW 24' X 31' CARPORT
 703 E. LUNA DRIVE
 HOBBS, NM 88240

DRAWN BY: K.A.
 CHECKED BY: D.B.
 DATE: 12/20/24

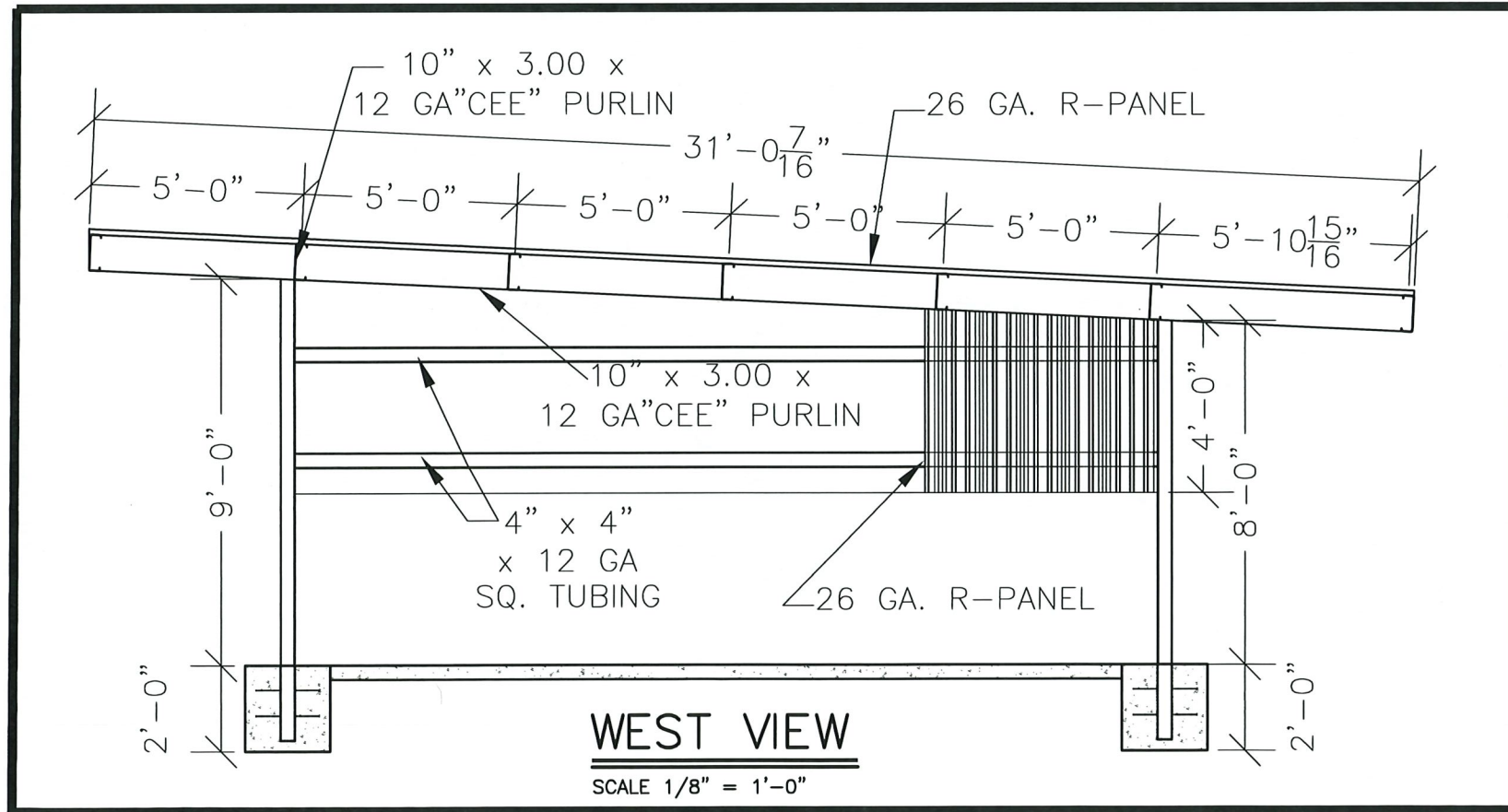
REV.	DESCRIPTION	DATE

DWG. **C-2**



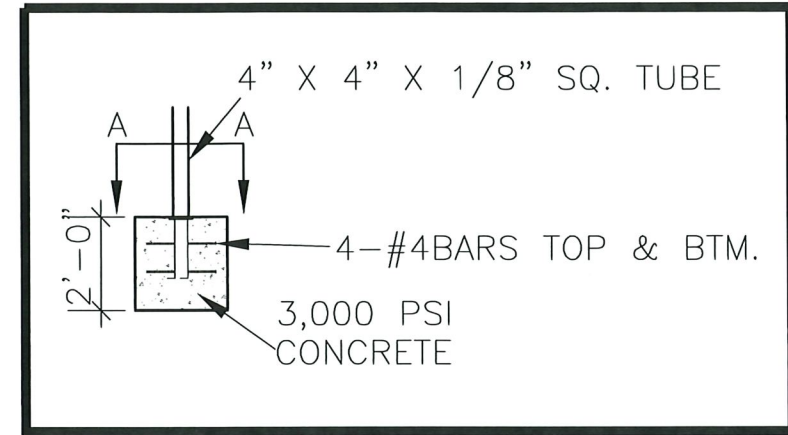
EAST VIEW

SCALE 1/8" = 1'-0"



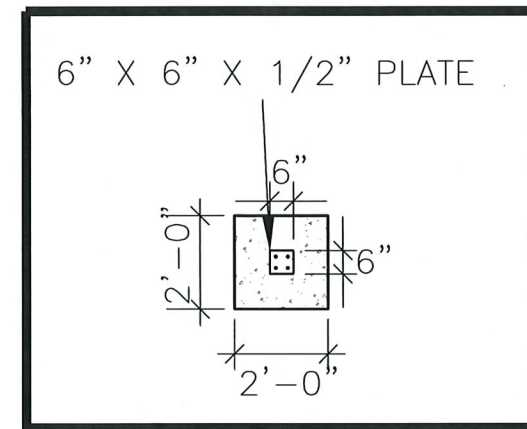
WEST VIEW

SCALE 1/8" = 1'-0"



COLUMN FOOTING DETAIL

SCALE 1/4" = 1'-0"



SECTION A-A

SCALE 1/4" = 1'-0"



01-07-2025

BOLLSCHWEILER ENGINEERING
 (575) 642-0205
 P.O. BOX 728 MESILLA PARK, NM 88047
 NEW MEXICO LICENSE #7310

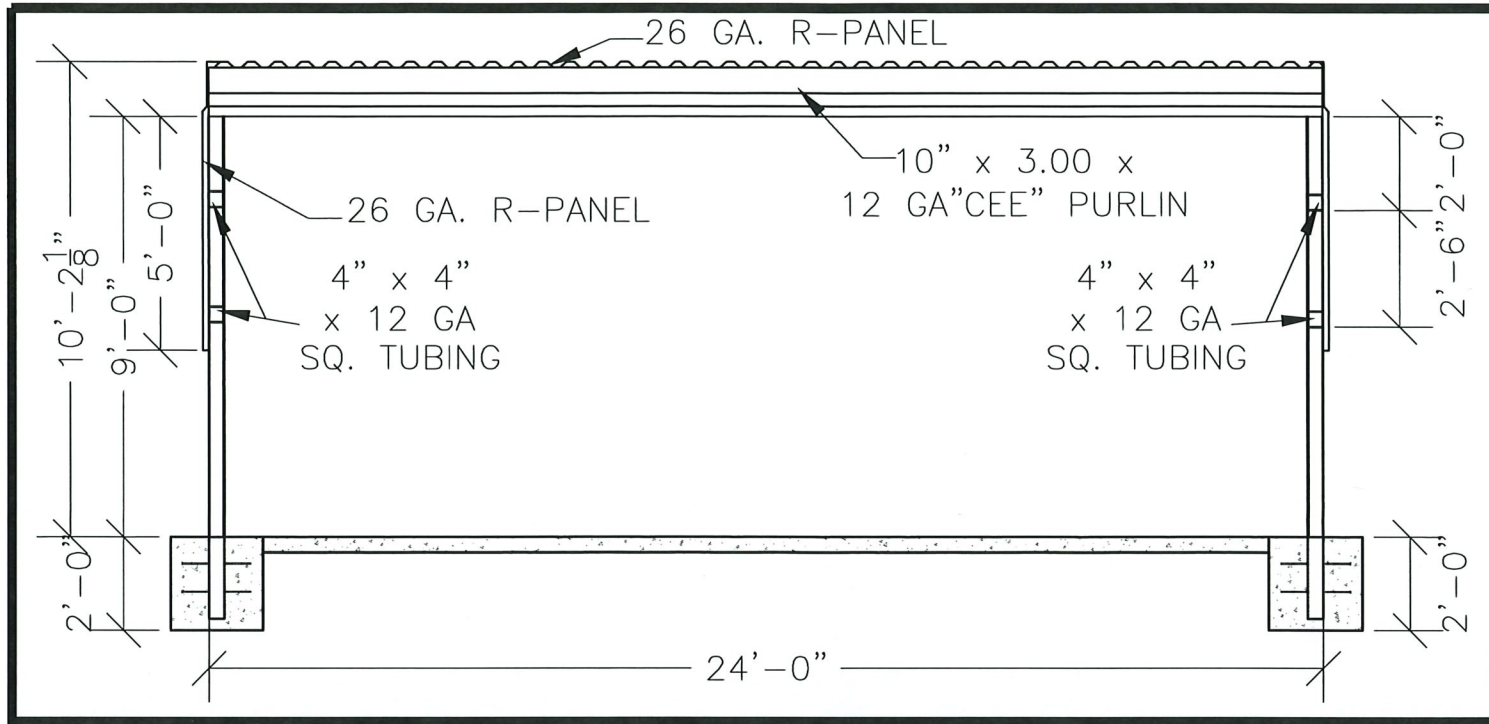
EAST/WEST ELEVATIONS
MIKE BOWNS
NEW 24' X 31' CARPORT
 703 E. LUNA DRIVE
 HOBBS, NM 88240

DRAWN BY: KA
 CHECKED BY: D.B.
 DATE: 12/20/24

REV.	DESCRIPTION	DATE

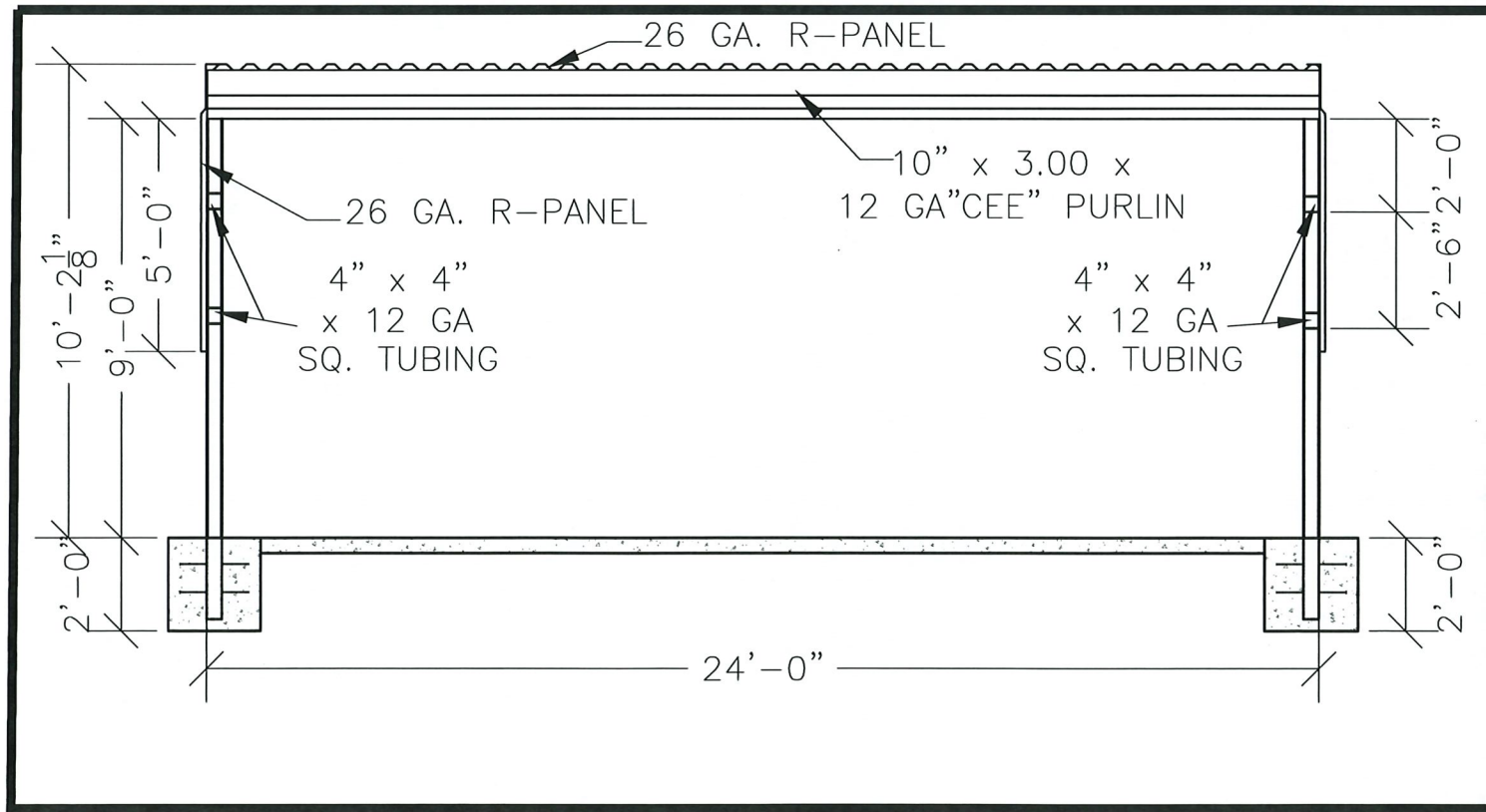
DWG.

C-3



NORTH VIEW

SCALE 1/4" = 1'-0"



SOUTH VIEW

SCALE 1/4" = 1'-0"



01-07-2025

BOLLSCHEWEILER ENGINEERING
 (575) 642-0205
 P.O. BOX 728 MESILLA PARK, NM 88047
 NEW MEXICO LICENSE #7310

NORTH/SOUTH ELEVATIONS
MIKE BOWNS
NEW 24' X 31' CARPORT
 703 E. LUNA DRIVE
 HOBBS, NM 88240

DRAWN BY: K.A.
 CHECKED BY: D.B.
 DATE: 12/20/24

REV.	DESCRIPTION	DATE
A		

DWG. **C-4**

Review and Consider a Sign Variance for 5230 N. Lovington Highway



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: JANUARY 21ST, 2025

SUBJECT: REVIEW AND CONSIDER A SIGN VARIANCE FOR 5230 N. LOVINGTON HIGHWAY.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: January 14th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Property Owner is requesting a sign variance for a proposed billboard for 5230 N. Lovington Highway. Our City Ordinance 15.32.030 states that billboards cannot be placed within 800 feet of each other. There is an existing billboard located approximately 450' on the other side on Lovington Highway, near the Junior College.

Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Variance Application
- City Ordinance Chapter 15



Building Inspection Department
200 E. Broadway, Hobbs, NM 88240
Phone (575) 391-8158

Application # _____

Building Permit Application

Application Received Date _____

Phone _____

Owner FIELDED CO LLC /RVINM HOLDINGS LLC Address 5220 N LOVINGTON HWY HOBBS NM 88240

Circle One: Residential or Commercial Type: New Remodel Addition Other please attach required plans

Job Location 5230 N. Lovington Hwy. Hobbs NM 88240
Address City State Zip

Contractor Lindmark Outdoor Media 2104 S. Sunset Ave., Roswell NM 88203
Name Address City State Zip Phone License #
tom@lindmarkoutdoormedia.com
Email

Architect or John E Skwiot 2175 NW Raleigh St. Ste 110 Portland OR 520-490-3311 19502
Engineer Name Address City State Zip Phone License #

Subdivision 1ST UNIT DEL NORTE INDUSTRIAL SUB-DIV Lot Block Lot Size

Building is to be ft. wide by ft. long by ft. in height and shall conform in construction.

Area or Volume Cubic/ Square Feet

Type New Billboard Use Group Basement walls or foundation Type

% of improvements Flood Zone Elevation Certificate Received
Subdivision Approved Drainage Plan Approved

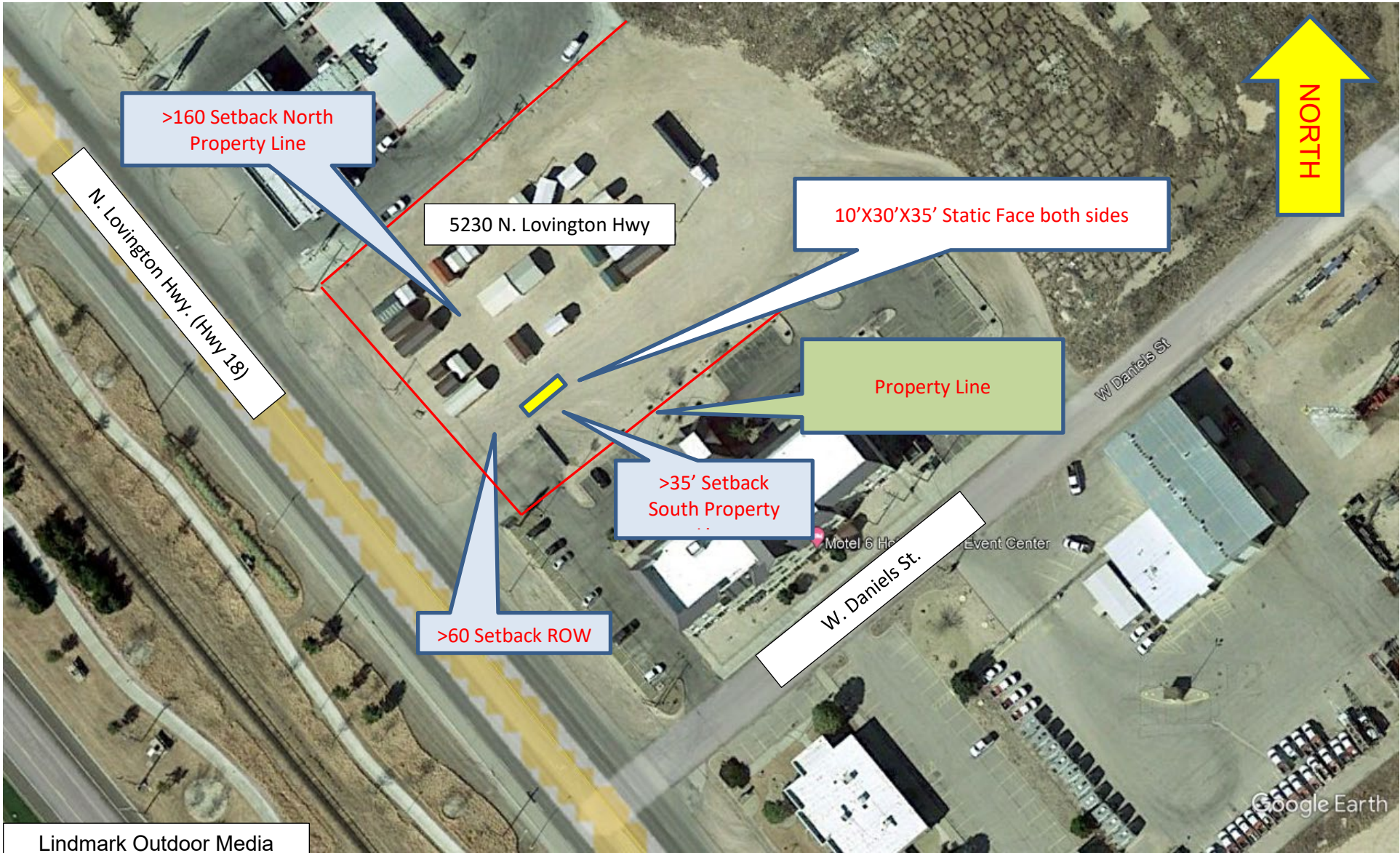
Job Description: INSTALL 10x30 BACK TO BACK STATIC BILLBOARD STRUCTURE 35' TALL

Valuation \$ 49,000.00 Permit Fee \$ Plan Review Fee \$ Total \$

I, Tom Palmer as the Contractor, hereby agree to comply under this permit with all City, State and Federal codes.

Contractor's Signature Thomas Palmer Date

Digitally signed by Thomas Palmer
Date: 2024.12.30 13:37:50 -07'00'



>160 Setback North
Property Line

5230 N. Lovington Hwy

10'X30'X35' Static Face both sides

Property Line

>35' Setback
South Property

>60 Setback ROW

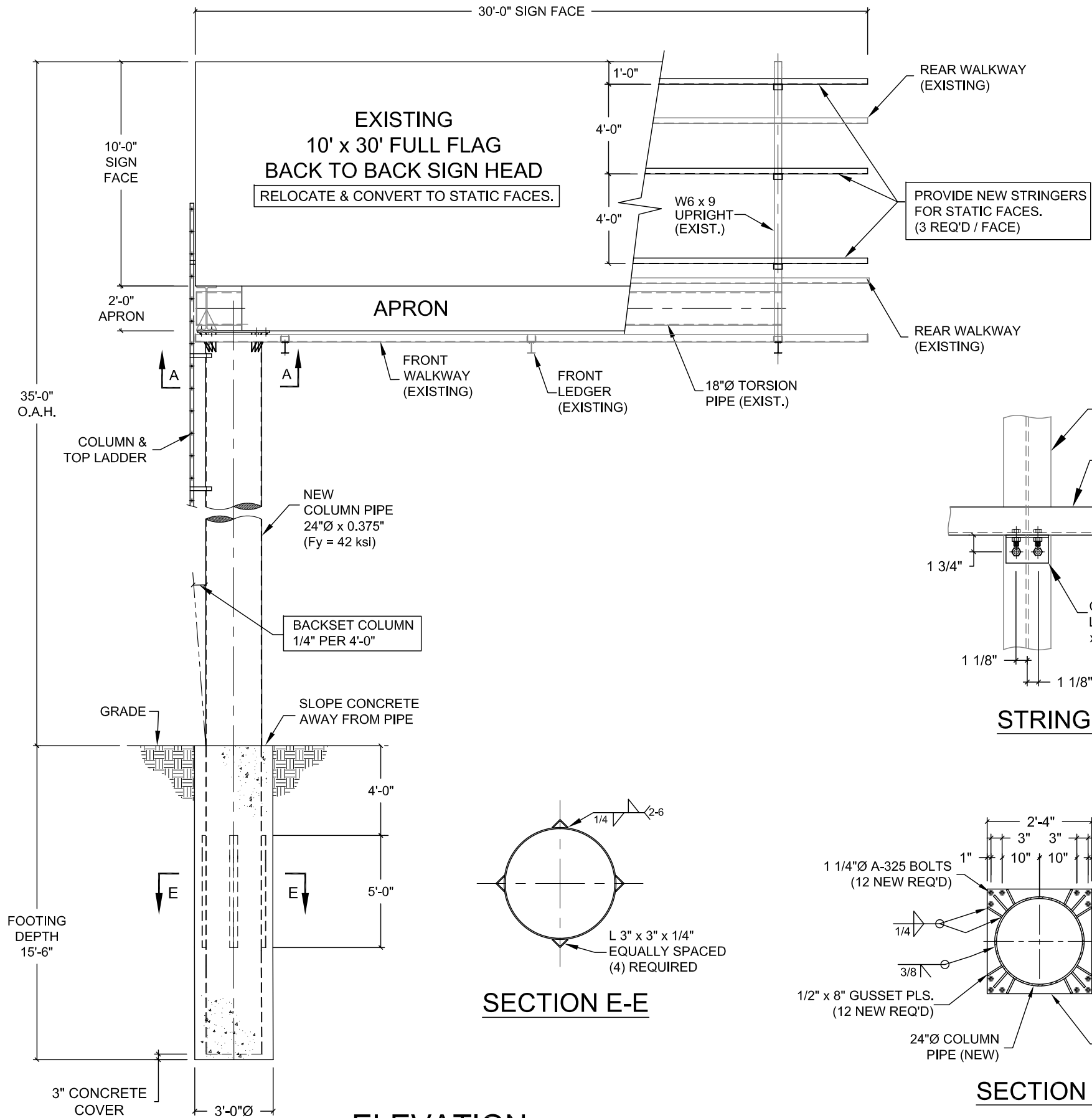
N. Lovington Hwy. (Hwy 18)

W. Daniels St.



Lindmark Outdoor Media
New Billboard
5230 N. Lovington Hwy.
Tom Palmer
575-626-8123

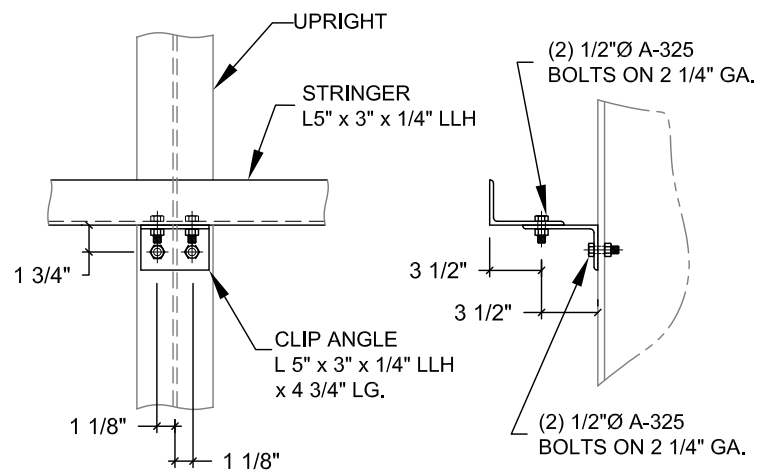
Google Earth



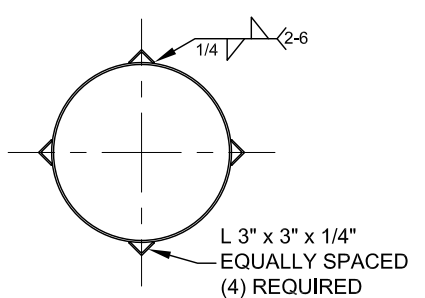
REAR WALKWAY (EXISTING)

PROVIDE NEW STRINGERS FOR STATIC FACES. (3 REQ'D / FACE)

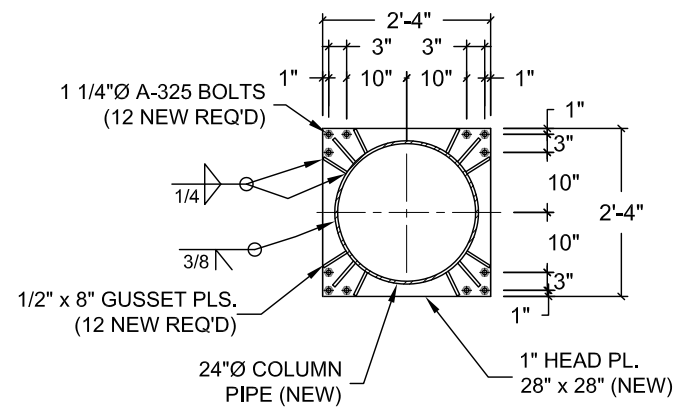
REAR WALKWAY (EXISTING)



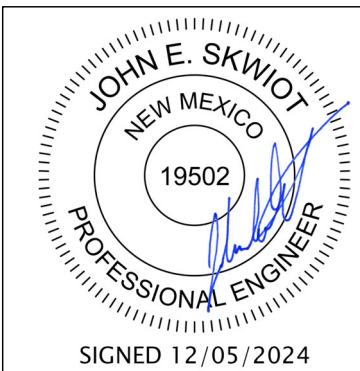
STRINGER MOUNTING DETAIL



SECTION E-E



**SECTION A-A
HEAD PLATE DETAIL**



CODE - 2021 NM COMMERCIAL BUILDING CODE

WIND DESIGN - SIGN STRUCTURE WIND LOADS ARE DETERMINED IN ACCORDANCE WITH ASCE 7-16 SECTION 29.3.1. BASIC WIND SPEED: 105 MPH (3 SECOND GUST) RISK CATEGORY: II EXPOSURE: C DESIGN WIND PRESSURE (ULT.): 32.6 PSF (AVG.); 44.0 PSF (MAX. AT ENDS) REFER TO ASCE 7-16 FIGURE 29.3-1. ANY SIGN COMPONENTS NOT SPECIFICALLY DETAILED ON THESE DRAWINGS BUT ATTACHED TO THE STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH THE INFORMATION ABOVE.

DESIGN DEAD LOAD - AS NOTED IN CALCULATIONS.

STEEL - WIDE FLANGES - ASTM A-992, OTHER SHAPES & PLATES - ASTM A-36.

PIPE SECTIONS - ASTM A53 GR B OR A252 GR 2, OR API 5L (WITH MINIMUM YIELD STRENGTH AS INDICATED ON DRAWINGS).

PAINTING - ALL STRUCTURAL STEEL, EXPOSED TO WEATHER, SHALL BE SHOP PRIMED AND PAINTED IN ACCORDANCE WITH AISC 335 (SPECIFICATION) AND AISC 303 (STANDARD PRACTICE).

BOLTS - ALL REGULAR SHALL CONFORM TO ASTM A-307. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A-325N. ALL BOLTS SHALL BE INSTALLED TO A SNUG TIGHT CONDITION UNLESS NOTED TO BE PRE-TENSIONED (PT). PT BOLTS SHALL BE FULLY TENSIONED PER AISC TURN OF THE NUT METHOD (1/3 OF A TURN PAST A SNUG TIGHT CONDITION) OR OTHER AISC APPROVED TENSIONING METHOD.

SPECIAL INSPECTIONS - SPECIAL INSPECTIONS ARE REQUIRED PER CHAPTER 17 FOR THE FOLLOWING ITEMS:
 STEEL CONSTRUCTION:
 - MATERIAL VERIFICATION OF STRUCTURAL STEEL
 - PERIODIC INSPECTION OF JOINT DETAILS
 HIGH STRENGTH BOLTS:
 - PERIODIC INSPECTION TO REVIEW FASTENER COMPONENTS AND TENSIONING.

UNLESS SPECIFICALLY INDICATED AS FIELD WORK, NO FIELD WELDING IS ALLOWED WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD. SPECIAL INSPECTIONS IS REQUIRED FOR ALL FIELD WELDING.

THE ERECTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE ERECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. ERECTORS SHALL NOTIFY ENGINEER IF STRUCTURE IS LOCATED NEAR ANY BUILDINGS.

THE UNDERSIGNED ENGINEER WILL NOT SUPERVISE THE FABRICATION OR ERECTION OF THIS STRUCTURE.

FJS ENGINEERING FJS Engineering LLC
 Portland, OR
 T: 520.490.3311
 contact@fjsengineering.com

CLIENT:	LINDMARK BILLBOARDS		
LOCATION:	HOBBS, NM		
DESCRIPTION:	RELOCATION OF A 10' x 30' FULL FLAG BACK TO BACK SIGN HEAD		
SCALE AT ELEV:	DATE:	DRAWN:	CHECKED:
3/16" = 1'-0"	12/05/2024	DBM	JS
PROJECT NO:	DRAWING NO:	REVISION:	
LIND-24-016	S1	0	



15.32.030 - General provisions for signs.

Except as otherwise specifically provided in the City code, the following provisions apply for all signs:

- A. Signs Shall Not Constitute Traffic Hazards. No sign or other advertising structure as regulated by this chapter shall be erected or continued to be displayed at the intersection of any street or within any alley or driveway in such a manner as to obstruct free and clear vision; or at any location where, by reason of the position, shape or color, such sign may interfere with, obstruct the view of, or be confused with any authorized traffic sign, signal or device.
1. On-premises entrance, exit, monument and directional signs constructed and maintained in accordance with an approved sign plan shall be allowed on all parcels developed for commercial use. Such signs shall not exceed six (6) square feet in sign area, nor exceed the height restrictions for a structure located within the building setback if located therein.
 2. Any signs, signals or devices erected by governmental entities, public schools and utility companies are exempt from the provisions of this chapter and shall be controlled by other applicable laws, regulations and ordinances.
- B. Placing Signs on Public Property. No signs other than signs placed by agencies of government shall be erected on or above any public property; provided, that directional signs may be erected upon City street name supports, or upon traffic signposts under the following conditions:
1. The sign directs the reader to the location of a public facility attended principally by out-of-town patrons, to a facility relating to the public health, safety or welfare or to scenic or historic trails.
 2. The signs are installed at locations where they would not constitute a traffic hazard.
 3. The signs conform to the manual on uniform traffic control devices. Nothing contained in this section shall supersede, modify or nullify any of the provisions of contracts and agreements heretofore entered into by the City with the Highway and Transportation Department of the State of New Mexico and the U.S. Bureau of Public Roads concerning such property signs, banners, billboards and awnings.
- C. Placing Signs on Private Property. No signs shall be placed on any private property without a permit and shall meet the following:
1. Each commercially developed site may have no more than one free-standing sign; provided, however, that sites with more than three hundred (300) feet of public street frontage may have one additional free-standing sign for each three hundred (300) feet of additional frontage or a fraction thereof.
 - 2.

No free-standing sign shall exceed thirty-five (35) feet in height and shall not exceed one hundred forty-four (144) square feet per sign. Wall signs shall not exceed one hundred forty-four (144) square feet per leased space facade.

3. The main multi-business sign on malls, shopping centers, strip malls, or similar uses shall not exceed more than one hundred forty-four (144) square feet and the total of tenant signs shall not exceed one hundred forty-four (144) square feet.
4. Signs erected on private properties fronting a minor residential roadway and within a residential area shall not exceed fifteen (15) feet in height or forty-eight (48) square feet per sign and be located wholly within the prescribed building setback. Wall signs shall not exceed forty-eight (48) square feet maximum.

D. **Placing Billboards on Private Property. No billboards shall be placed on any private property containing a free standing sign. Billboards shall only be placed on private property fronting a Major Arterial as specified within the City of Hobbs Major Thoroughfare Plan and shall meet the following:**

1. **Each site shall have no more than one billboard; provided, however, that sites with more than eight hundred (800) feet of public street frontage may have one additional billboard providing an eight hundred (800) foot linear separation is maintained between all proposed or existing billboards adjacent to and oriented perpendicular to a Major Arterial, regardless of ownership.**
2. **A billboard shall not be permitted to be placed within eight hundred (800) linear feet of any existing billboard adjacent to and oriented perpendicular to a Major Arterial.**
3. **No billboard shall exceed thirty-five (35) feet in height or three hundred (300) square feet per billboard. All billboards shall be constructed of metal.**
4. **Billboards on residential streets are prohibited.**
5. **Billboards unable to secure an advertiser for a period of one hundred twenty (120) days shall be considered abandoned. The Building Official shall issue the property owner written notice of abandonment and said billboard shall be removed at the owner's expense within thirty (30) days.**

E. **Placing Signs on Trees, Rocks, Retaining Walls or Fences Located on Public Property. No signs shall be placed or painted on any tree, rock, retaining wall, fence or natural formation which is located on or above public property.**

F. **Placing Signs on Utility Poles. No sign shall be placed on any utility pole except for utility identification purposes and installed by utility agencies or in accordance with Section 15.32.070(C)(2).**

G.

Signs on Public Right-of-Way. With the exception of signs lawfully permitted or erected prior to the passage of the ordinance codified in this chapter, it is unlawful to place a sign upon or above a public street, bridge, grounds, sidewalk, alley, right-of-way, curb or other public improvement, or on any public building or structure of any kind belonging to the City, or in any public place or public improvement except as stated on subsection H of this section or a written consent by the City Commission. Any unlawful sign found within, upon or above such public property and easements shall be removed if so ordered by a court of competent jurisdiction as specified under Sections 15.32.090 through 15.32.110. The City is authorized to impound any signs found on any public property and transport or causes same to be transported to a location to be designated by the Building Official for storage. Records shall be maintained on where such signs were located, when they were so impounded, and the date on which they were so impounded and the City shall hold the same in a storage area for a period of not more than thirty (30) days. At the end of thirty (30) days, such signs will be disposed of as abandoned property.

(Ord. 885 (part), 2001: prior code § 7-22)

(Ord. No. 1094, 4-18-2016)

**Review and Consider the Development Agreement for Windmill
Business Park Subdivision**



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: JANUARY 21ST, 2025

SUBJECT: REVIEW AND CONSIDER THE DEVELOPMENT AGREEMENT FOR WINDMILL BUSINESS PARK SUBDIVISION.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: January 14th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Developer is requesting to subdivide the property and differ the construction of the roadway and a 10" waterline. The City requires for the construction of the roadway and 10" waterline to be constructed within a year of the land subdivision. The City desires the Developer to dedicate the frontage of lot 1A along West County Road and build a drainage pond.

Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

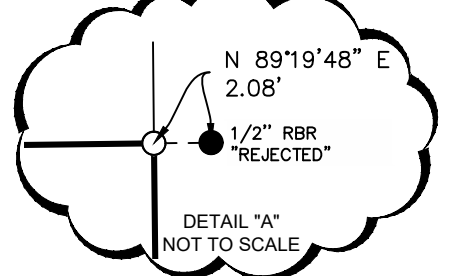
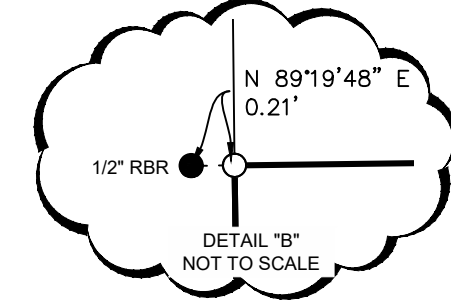
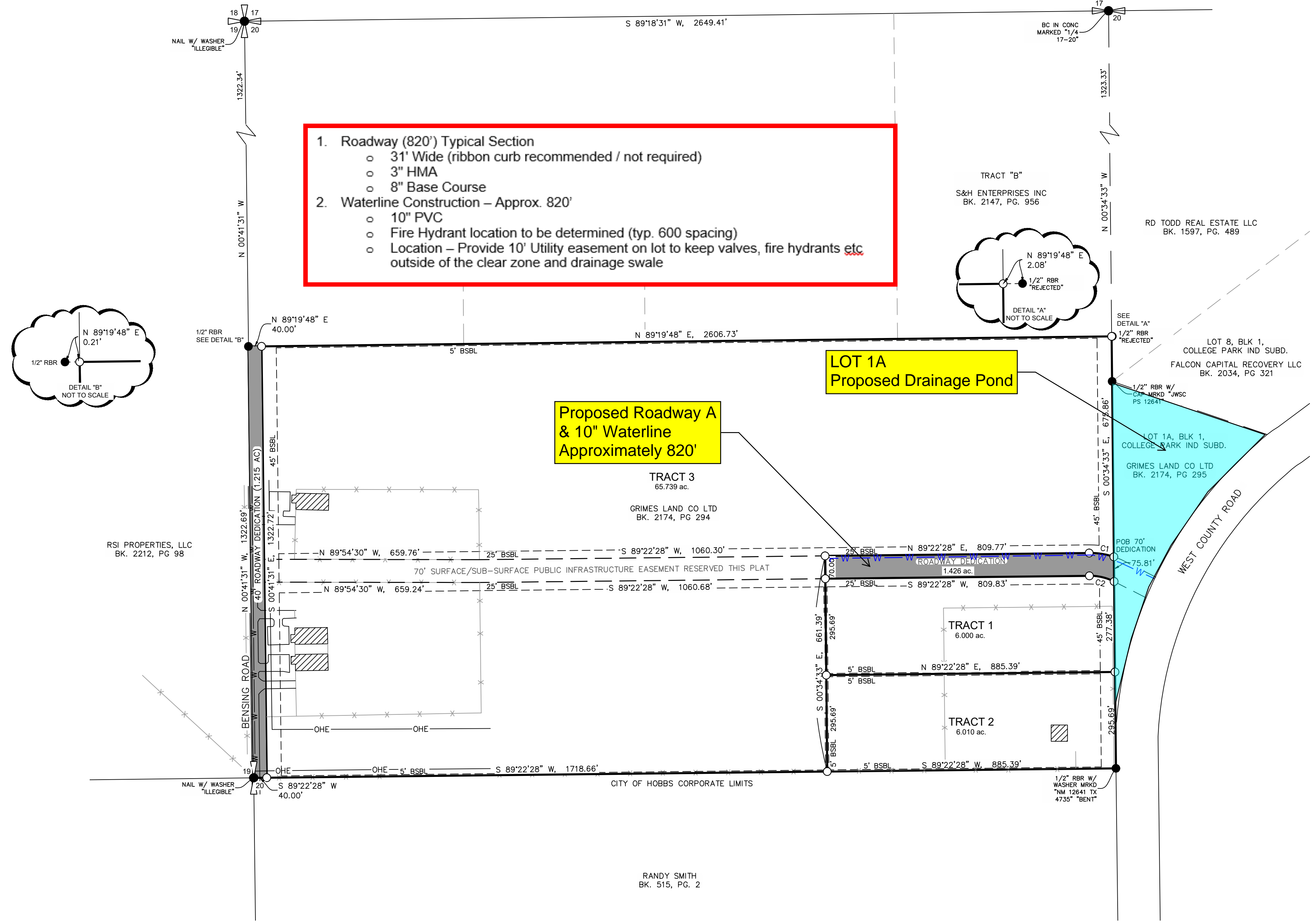
- Development Agreement
- Exhibit 1

WINDMILL BUSINESS PARK SUMMARY SUBDIVISION

CITY OF HOBBS, LEA COUNTY, NEW MEXICO

LOCATED IN THE NORTHWEST QUARTER (NW/4) OF SECTION 20, TOWNSHIP 18 SOUTH, RANGE 38 EAST,
N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO

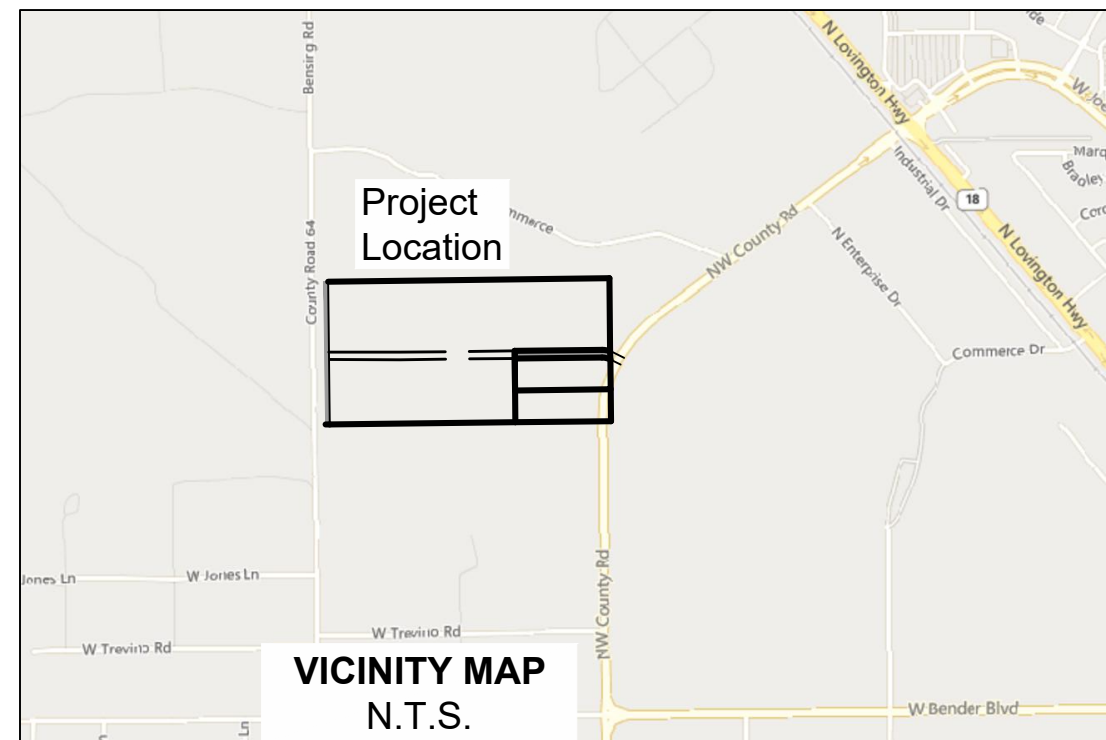
1. Roadway (820') Typical Section
 - o 31' Wide (ribbon curb recommended / not required)
 - o 3" HMA
 - o 8" Base Course
2. Waterline Construction – Approx. 820'
 - o 10" PVC
 - o Fire Hydrant location to be determined (typ. 600 spacing)
 - o Location – Provide 10' Utility easement on lot to keep valves, fire hydrants etc. outside of the clear zone and drainage swale



CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	76.98	235.00	18°46'10"	S81°14'26"E	76.64
C2	78.47	165.00	27°14'59"	N77°00'02"W	77.74

BASIS OF BEARING
BEARINGS SHOWN HEREON ARE FROM GPS/GNSS OBSERVATIONS AND CONFORM TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM OF 1983. TRUE NORTH CAN BE OBTAINED BY APPLYING A CONVERGENCE ANGLE OF 00°37'27.37" AT A FOUND MAG NAIL WITH WASHER FOR THE WEST QUARTER CORNER OF SECTION 20, LOCATED AT N 632,383.22, E 896,317.08. DISTANCES SHOWN HEREON ARE IN GROUND AND WERE OBTAINED BY APPLYING A COMBINED GRID TO GROUND SCALE FACTOR OF 1.0001136300 AT N 0.00, E 0.00.

NOTE:
PROPERTY LIES WITHIN ZONE D.
FLOOD ZONE INFORMATION PER FLOOD INSURANCE RATE MAP #35025C1345D.
EFFECTIVE DECEMBER 16, 2008.



I, EVAN J. POINTER, NEW MEXICO PROFESSIONAL SURVEYOR NO. 29968, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

EVAN J. POINTER, N.M.P.S. 29968 DATE _____

ORIGINAL LEGAL DESCRIPTION

THE SOUTH HALF OF THE NORTHWEST QUARTER (S2NW4) OF SECTION 20, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO.

NEW LEGAL DESCRIPTION

TRACT 1
A TRACT OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHWEST QUARTER (S/2NW4) OF SECTION 20, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968" WHICH LIES S.00°34'33"E, 2075.00 FEET FROM A BRASS CAP IN CONCRETE MARKED "1/4 17-20" FOUND FOR THE NORTH QUARTER CORNER OF SAID SECTION 20; THENCE S.00°34'33"E ALONG THE EAST LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 277.38 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE S.89°22'28"W, 885.39 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE N.00°34'33"W, 295.69 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE N.89°22'28"E, 809.83 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968" SET ON A CURVE TO THE RIGHT HAVING A CHORD BEARING AND DISTANCE OF S.77°00'02"E, 77.74 FEET AND A RADIUS OF 165.00 FEET THROUGH A DISTANCE OF 78.47 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINING 6.000 ACRES, MORE OR LESS.

TRACT 2
A TRACT OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHWEST QUARTER (S/2NW4) OF SECTION 20, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968" WHICH LIES S.00°34'33"E, 2352.38 FEET FROM A BRASS CAP IN CONCRETE MARKED "1/4 17-20" FOUND FOR THE NORTH QUARTER CORNER OF SAID SECTION 20; THENCE S.00°34'33"E ALONG THE EAST LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 295.69 FEET TO A 1/2" REBAR WITH WASHER MARKED "TM 12641 TX 4735" FOUND FOR THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 20; THENCE S.89°22'28"W ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 885.39 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE N.00°34'33"W, 295.69 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE N.89°22'28"E, 885.39 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINING 6.010 ACRES, MORE OR LESS.

TRACT 3
A TRACT OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHWEST QUARTER (S/2NW4) OF SECTION 20, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968" WHICH LIES S.00°34'33"E, 1323.33 FEET FROM A BRASS CAP IN CONCRETE MARKED "1/4 17-20" FOUND FOR THE NORTH QUARTER CORNER OF SAID SECTION 20; THENCE S.00°34'33"E ALONG THE EAST LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 675.86 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968" SET ON A CURVE TO THE LEFT HAVING A CHORD BEARING AND DISTANCE OF N.81°14'26"W, 76.64 FEET AND A RADIUS OF 235.00 FEET THROUGH A DISTANCE OF 76.98 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE S.89°22'28"W, 809.77 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE S.00°34'33"E, 661.39 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968" SET ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 20; THENCE S.89°22'28"W ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 1718.66 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE N.00°34'33"W, 1322.72 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE N.89°19'49"E, 2006.73 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINING 65.739 ACRES, MORE OR LESS.
SAID TRACT BEING SUBJECT TO A 70 FOOT SURFACE/SUB-SURFACE PUBLIC INFRASTRUCTURE EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT WHICH LIES N.89°22'28"E, 40.00 FEET AND N.00°41'31"W, 599.61 FEET FROM A NAIL WITH WASHER FOUND FOR THE WEST QUARTER CORNER OF SAID SECTION 20; THENCE N.00°41'31"W, 70.00 FEET; THENCE S.89°54'30"E, 659.76 FEET; THENCE N.89°22'28"E, 1060.30 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE S.00°34'33"E, 70.00 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE S.89°22'28"W, 1060.68 FEET; THENCE N.89°54'30"W, 659.24 FEET TO THE POINT OF BEGINNING.

ROADWAY DEDICATION (BENSING ROAD)

WEST 40.0 FEET OF THE SOUTH HALF OF THE NORTHWEST QUARTER (S/2NW4) OF SECTION 20, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO.

ROADWAY DEDICATION

BEGINNING AT A 5/8" REBAR WITH CAP MARKED "BAKER NM PS 25773" SET ON THE EAST LINE OF NORTHWEST QUARTER WHICH LIES S.00°34'33"E, 1999.19 FEET FROM A BRASS CAP IN CONCRETE MARKED "1/4 17-20" FOUND FOR THE NORTH QUARTER CORNER OF SAID SECTION 20; THENCE S.00°34'33"E ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 20, A DISTANCE OF 75.81 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE ALONG A CURVE TO THE LEFT HAVING A CHORD BEARING AND DISTANCE N.77°00'02"W, 77.74 FEET AND A RADIUS OF 165.00 FEET THROUGH A DISTANCE OF 78.47 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE N.89°22'28"E, 809.83 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968"; THENCE N.00°34'33"W, 70.00 FEET TO A SET 5/8" REBAR WITH CAP MARKED "POINTER PS 29968" ON A CURVE TO THE RIGHT HAVING A CHORD BEARING AND DISTANCE OF S.81°14'26"E, 76.64 FEET AND A RADIUS OF 235.00 FEET THROUGH A DISTANCE OF 78.47 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 1.426 ACRES, MORE OR LESS.

OWNERS STATEMENT AND AFFIDAVIT

STATE OF NEW MEXICO:
COUNTY OF LEA:
THE UNDERSIGNED FIRST DULY SWORN ON OATH, STATE: ON BEHALF OF THE OWNERS AND PROPRIETORS WE HAVE OF OUR OWN FREE WILL AND CONSENT CAUSED THIS PLAT WITH ITS TRACTS TO BE PLATTED. THE PROPERTY DESCRIBED ON THIS PLAT LIES WITHIN THE PLATTING JURISDICTION OF THE CITY OF HOBBS.

BY: GRIMES LAND CO., LTD
GARY SCHUBERT, MANAGER

ACKNOWLEDGMENT

STATE OF NEW MEXICO JSS.
COUNTY OF LEA
ON THIS _____ DAY OF _____, 2024, BEFORE ME, GARY SCHUBERT TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.
MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL

I, TODD RANDALL, ASSISTANT CITY MANAGER FOR THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT IN THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, WAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON THIS _____ DAY OF _____, 2024.

TODD RANDALL, ASSISTANT CITY MANAGER ATTEST: JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT

STATE OF NEW MEXICO JSS.
COUNTY OF LEA
ON THIS _____ DAY OF _____, 2024, BEFORE ME, TODD RANDALL AND JAN FLETCHER TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.
MY COMMISSION EXPIRES: _____

NOTARY PUBLIC



7921 N World Dr.
Hobbs, NM 88242-9032
Squarerootservices.net
575-231-7347

TYPE OF SURVEY:
SUMMARY SUBDIVISION

PROJECT NAME:
WINDMILL BUSINESS PARK SUBDIVISION

CLIENT:
GARY SCHUBERT

PROJECT NUMBER:
24100

PROJECT SURVEYOR:
Evan J. Pointer, PS

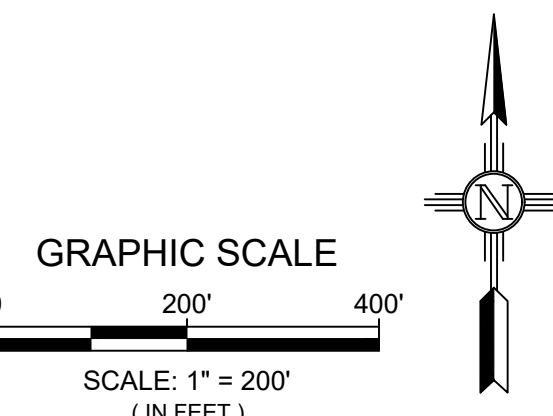
DRAWN BY:
Kendall Goad

INDEXING INFORMATION FOR COUNTY CLERK

OWNER:
GRIMES LAND CO., LTD

LOCATION:
NW/4 of Section 20,
Township 18 South, Range 38 East
N.M.P.M., City of Hobbs,
Lea County New Mexico

State of New Mexico, County of Lea, I here by certify that this instrument was filed for record on:



- LEGEND**
- Set 5/8 inch rebar w/blue plastic cap marked "Baker NM PS25773" unless otherwise noted
 - Found monument as noted
 - Utility Pole
 - ⊙ Service Pole
 - Gas Meter
 - Fence
 - O-H Electric Line
 - - - Adjoining Lot Lines
 - ▨ Existing Structure
 - XX'XXX' XX.XX' Measured bearing and distance
 - (XX'XXX', XX.XX') Record bearing and distance

SHEET:
1 of 1
SU-101

Review and Consider the 2025 New Mexico Open Meetings Act Notice



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: JANUARY 21ST, 2025

SUBJECT: REVIEW AND CONSIDER THE 2025 NEW MEXICO OPEN MEETINGS ACT NOTICE.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: January 14th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Deputy City Attorney has drafted a notice for approval regarding the Opens Meetings Act in accordance to New Mexico State Law.

Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- OMA Notice

CITY OF HOBBS PLANNING BOARD

NOTICE STATING THE REASONABLE NOTICE PROCEDURES FOR
THE CITY OF HOBBS PLANNING BOARD PURSUANT TO THE
NEW MEXICO OPEN MEETINGS ACT

WHEREAS, The City of Hobbs Planning Board met in regular session at the City Hall, City Commission Chambers located at 200 E. Broadway, 1st Floor Annex, Hobbs, New Mexico on January 21, 2025, at 10 a.m. as required by law; and

WHEREAS, Section 10-15-1(B) of the Open Meetings Act (NMSA 1978, Sections 10-15-1 to -4) states that, except as may be otherwise provided in the Constitution or the provisions of the Open Meetings Act, all meetings of quorum of members of any board, council, commission, administrative adjudicatory body or other policymaking body of any state or local public agency held for the purpose of formulating public policy, discussing public business or for the purpose of taking any action within the authority of or the delegated authority of such body, are declared to be public meetings open to the public at all times; and

WHEREAS, all persons desiring shall be permitted to attend and listen to the deliberations and proceedings of all public meetings; and

WHEREAS, any meetings subject to the Open Meetings Act at which the discussion or adoption of any proposed resolution, rule, regulation or formal action occurs shall be held only after reasonable notice to the public; and

WHEREAS, Section 10-15-1(D) of the Open Meetings Act requires the City of Hobbs Planning Board to determine annually what constitutes reasonable notice of its public meetings;

NOW, THEREFORE BE IT RESOLVED BY THE CITY OF HOBBS PLANNING BOARD that:

1. All meetings shall be held at City Hall, City Commission Chambers, 200 E. Broadway, 1st Floor Annex, Hobbs, New Mexico at 10 a.m., or as otherwise indicated in the meeting's notice.
2. Unless otherwise specified, regular meetings shall be held once a month (January, February, March, April, May, June, July, August, September, October, November and December) on the third Tuesday of the month. The agenda will be available at least seventy-two hours prior to the meeting from the City Clerk's Office, whose office is located at City Hall, 200 E. Broadway, in Hobbs, New Mexico. The agenda will also be posted on the Public Notice Board located on the first floor of City Hall, and on the City of Hobbs' website at www.hobbsnm.org.
3. Special meetings may be called at any time by the written request to the Chairperson of the Planning Board by three (3) members, or on call by the Chairperson with the written consent of all members of the Board. In the event a special meeting is called, three days' notice must be given to the members of the Board of the calling of such special meeting. The notice for a special meeting shall include an agenda for the meeting or information on how a copy of the agenda may be obtained. The agenda will be available at least seventy-two hours before the meeting and posted on the City of Hobbs' website at www.hobbsnm.org.

4. Emergency meetings will be called only under unforeseen circumstances that demand immediate action to protect the health, safety and property of citizens or to protect the public body from substantial financial loss. The City of Hobbs Planning Board will avoid emergency meetings whenever possible. Emergency meetings may be called by the Board Chair or a majority of the members with twenty-four hours prior notice, unless threat of personal injury or property damage requires less notice. The notice for all emergency meetings shall include an agenda for the meeting or information on how the public may obtain a copy of the agenda. Within ten days of taking action on an emergency matter, the City of Hobbs Planning Board, through the City of Hobbs City Commission, will notify the Attorney General's Office.
5. For the purpose of regular meetings described in Paragraph 2 of this notice, notice requirements are met if notice of the date, time, place and agenda is posted in the following locations: on the Public Notice Board located on the first floor of City Hall, and the City of Hobbs' website at www.hobbsnm.org. Copies of the written notice shall also be mailed to those broadcast stations licensed by the Federal Communications Commission and newspapers of general circulation that have made a written request for notice of public meetings.
6. For the purposes of special meetings and emergency meetings described in Paragraphs 3 and 4, notice requirements are met if notice of the date, time, place and agenda is provided by telephone to newspapers of general circulation in the state and posted on the Public Notice Board located on the

first floor of City Hall. Telephone notice also shall be given to those broadcast stations licensed by the Federal Communications Commission and newspapers of general circulation that have made a written request for notice of public meetings.

7. In addition to the information specified above, all notices shall include the following language:

If you are an individual with a disability who is in need of a reader, amplifier, qualified sign language interpreter, or any other form of auxiliary aid or service to attend or participate in the hearing or meeting, please contact The City Clerk's Office at City Hall located at 200 E. Broadway, Hobbs, New Mexico or by calling (575) 397-9232 at least 72 hours prior to the meeting or as soon as possible. Public documents, including the agenda and minutes, can be provided in various accessible formats. Please contact The City Clerk's Office if a summary or other type of accessible format is needed.

8. The City of Hobbs Planning Board may close a meeting to the public only if the subject matter of such discussion or action is excepted from the open meeting requirement under Section 10-15-1(H) of the Open Meetings Act.

- (a) If any meeting is closed during an open meeting, such closure shall be approved by a majority vote of a quorum of the City of Hobbs Planning Board taken during the open meeting. The authority for the closed meeting and the subjects to be discussed shall be stated with reasonable specificity in the motion to close and the vote of each individual member on the motion

to close shall be recorded in the minutes. Only those subjects specified in the motion may be discussed in the closed meeting.

(b) If a closed meeting is conducted when the City of Hobbs Planning Board is not in an open meeting, the closed meeting shall not be held until public notice, appropriate under the circumstances, stating the specific provision of law authorizing the closed meeting and the subjects to be discussed with reasonable specificity, is given to the members and to the general public.

(c) Following completion of any closed meeting, the minutes of the open meeting that was closed or the minutes of the next open meeting if the closed meeting was separately scheduled, shall state whether the matters discussed in the closed meeting were limited only to those specified in the motion or notice for closure.

(d) Except as provided in Section 10-15-1(H) of the Open Meetings Act, any action taken as a result of discussions in a closed meeting shall be made by vote of the City of Hobbs Planning Board in an open public meeting.

9. As provided by NMSA 1978, §10-15-1(C), a member of the public body may participate in a meeting of the public body by means of a conference telephone or other similar communications equipment when it is otherwise difficult or impossible for the member to attend the meeting in person, provided that each member participating by conference telephone can be identified when speaking, all participants are able to hear each other at the same time and members of the public attending the meeting are able to hear any member of

the public body who speaks during the meeting. Additionally, the City of Hobbs Planning Board may hold “virtual” meetings in response to a public health threat or corresponding public health orders from the State of New Mexico, provided that all measures advisable and necessary are implemented to ensure public access and participation.

PASSED, ADOPTED AND APPROVED this 21st day of January, 2025.

W.M. “Tres” Hicks, Chair

ATTEST:

JAN FLETCHER, City Clerk